

PLANNING BOARD AGENDA

TUESDAY, JUNE 21, 2016, 7:00 P.M.

THIRD FLOOR COUNCIL CHAMBERS, CITY HALL

CONSENT AGENDA

1. SITE DEVELOPMENT PLAN

120 French Street – BRELCA, applicant

Site Development Plan for a third floor 2,490 square-foot apartment addition, 582 square-foot elevator and stair tower addition, and associated site improvements at 120 French Street in a Downtown Development District (DDD).

PUBLIC HEARINGS

2. ZONE CHANGE

Maine Avenue – Bangor School Department, applicant – C.O. #16-250

Zone Change and Land Development Code Map Amendment from Industry and Service District (I&S) to Airport Development District (ADD) for a portion of a parcel of land off Maine Avenue containing approximately .39 acres (16,900 square feet) (Tax Map R25, Parcel No. 020).

3. PRELIMINARY SUBDIVISION PLAN

1746 Stillwater Avenue – Jacky Deng, applicant

Preliminary Subdivision Plan for a 10-lot Subdivision at 1746 Stillwater Avenue in a Rural Residence and Agricultural (RR&A) District.

NEW BUSINESS

4. SITE DEVELOPMENT PLAN

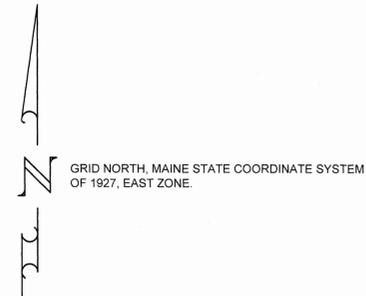
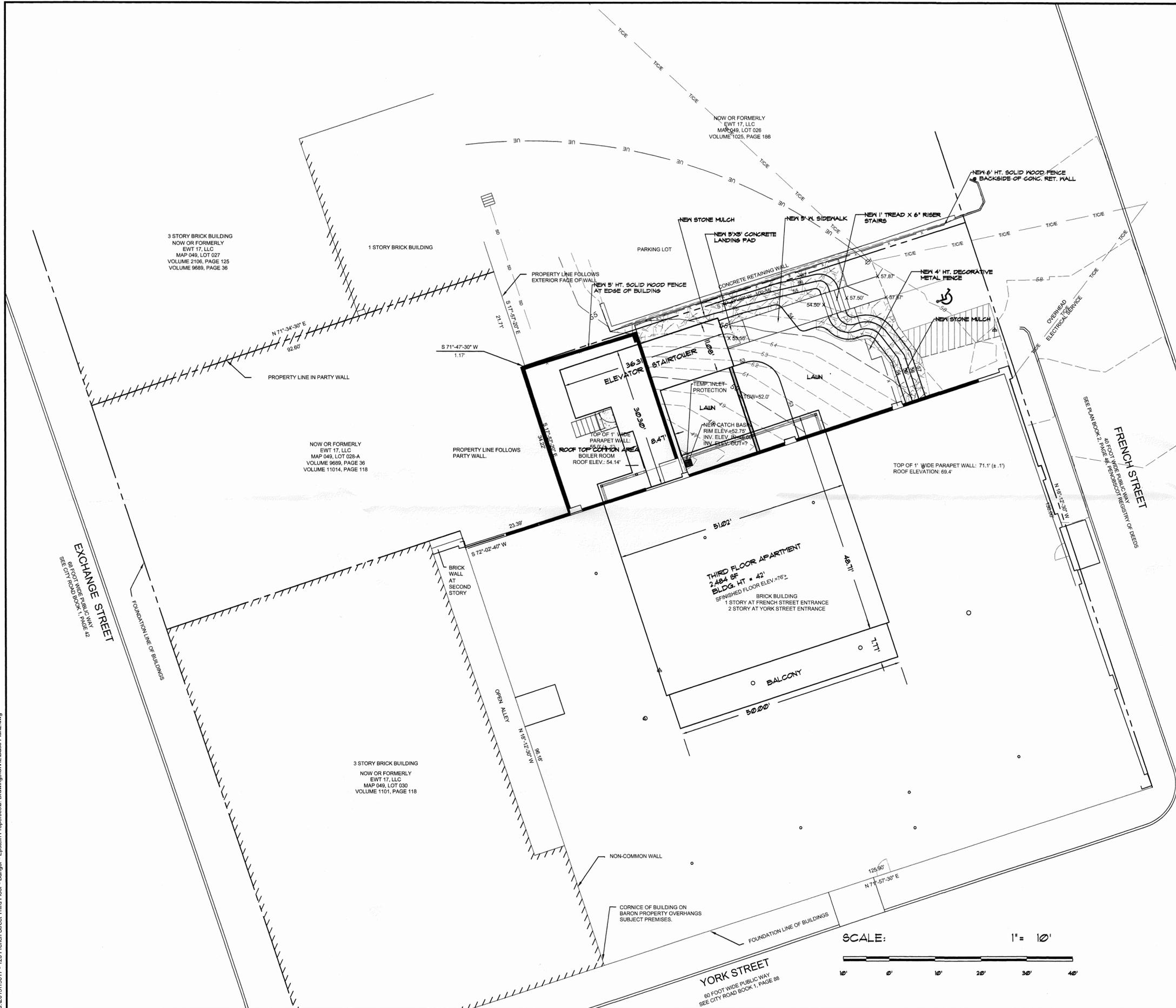
2630 Broadway – American Iron and Metal USA, LLC, applicant

Site Development Plan for a paved vehicle display lot for vehicle sales at 2630 Broadway in an Urban Industry District (UID).

APPROVAL OF MINUTES

5. PLANNING BOARD APPROVAL OF MINUTES

Jun 15, 2016 - 12:22pm
 J:\2016\15017-120 French Street - Bangor - Explain Properties\Drawings\Civil\Bases Plan2.dwg



120 French Street
 LAND USE DISTRICT: Downtown Development
 EXISTING USE: Residential (Permitted Use)
 PROPOSED USE: Residential (Permitted Use)

ZONING DISTRICT REQUIREMENTS	MINIMUM	EXISTING	PROPOSED
Lot Area (SF)	None	15,537	15,537
Maximum Building Height	None	25	42
Maximum Floor Area Ratio	4.00	1.60	1.838

AREA CALCULATIONS (SF)		
Building Footprint	12,880	13,094
Parking Garage Level	12,880	12,880
Second Floor Apartments Level	12,015	12,599
Third Floor Apartment Level	0	3,074
Gross Floor Area	24,895	28,553

- (1) Boundary, topographic and site information taken from information provided by Plisga & Day, Land Surveyors, 72 Main Street, Bangor, Maine.
- (2) Documents referenced on this plan are recorded in the Penobscot County Registry of Deeds unless otherwise noted.
- (3) Bearings are oriented to Grid North of the Maine State Coordinate System, East Zone.
- (4) This plan is a representation of Tax Map 049, Lot 028.
- (5) The building is served by public water and public sewer.
- (6) The location shown on this plan for above ground and underground utilities including water, electricity, telephone, sanitary sewer, communication, and storm water are approximate and should be field verified. They are shown for informational purposes only. Federal and State Laws require anyone performing any sort of excavation including digging, boring, backfilling, or grading to notify "Dig Safe" (1-888-344-7233) and any applicable utility company at least 72 hours before they begin work.
- (7) Any property lines, easements, and other real property descriptions depicted on this plan are for the use of the client or their agent and any regulatory review agency. They do not define legal rights or meet legal requirements for a land survey and shall not be used in lieu of a land survey as the basis for any land transfer or establishment of any property rights.

REVISIONS		PROJECT NAME:	French Street Apartments	
NO.	DATE	DESCRIPTION	120 French Street	
1			Bangor, Maine	
DRAWN BY:		PROJECT NO.:	15017-120	
CHECKED BY:		DRAWING NO.:	15017-120	
DATE:		FIELD NO.:	N/A	
SCALE:		APPROVED:	As Noted	
DATE ISSUED:		PLAN DATE:	June 9, 2016	
CLIENT:		CLIENT:	REELCA Company	
		PROJECT ADDRESS:	120 French Street	
		CITY/STATE/ZIP:	Bangor, Maine 04402-2400	

Plymouth Engineering, Inc.
 P.O. Box 48, 80 Lower Detroit Road
 Plymouth, Maine 04989
 Tel: (207) 857-8071 Fax: (207) 257-2130
 info@plymouthengineering.com
 www.plymouthengineering.com

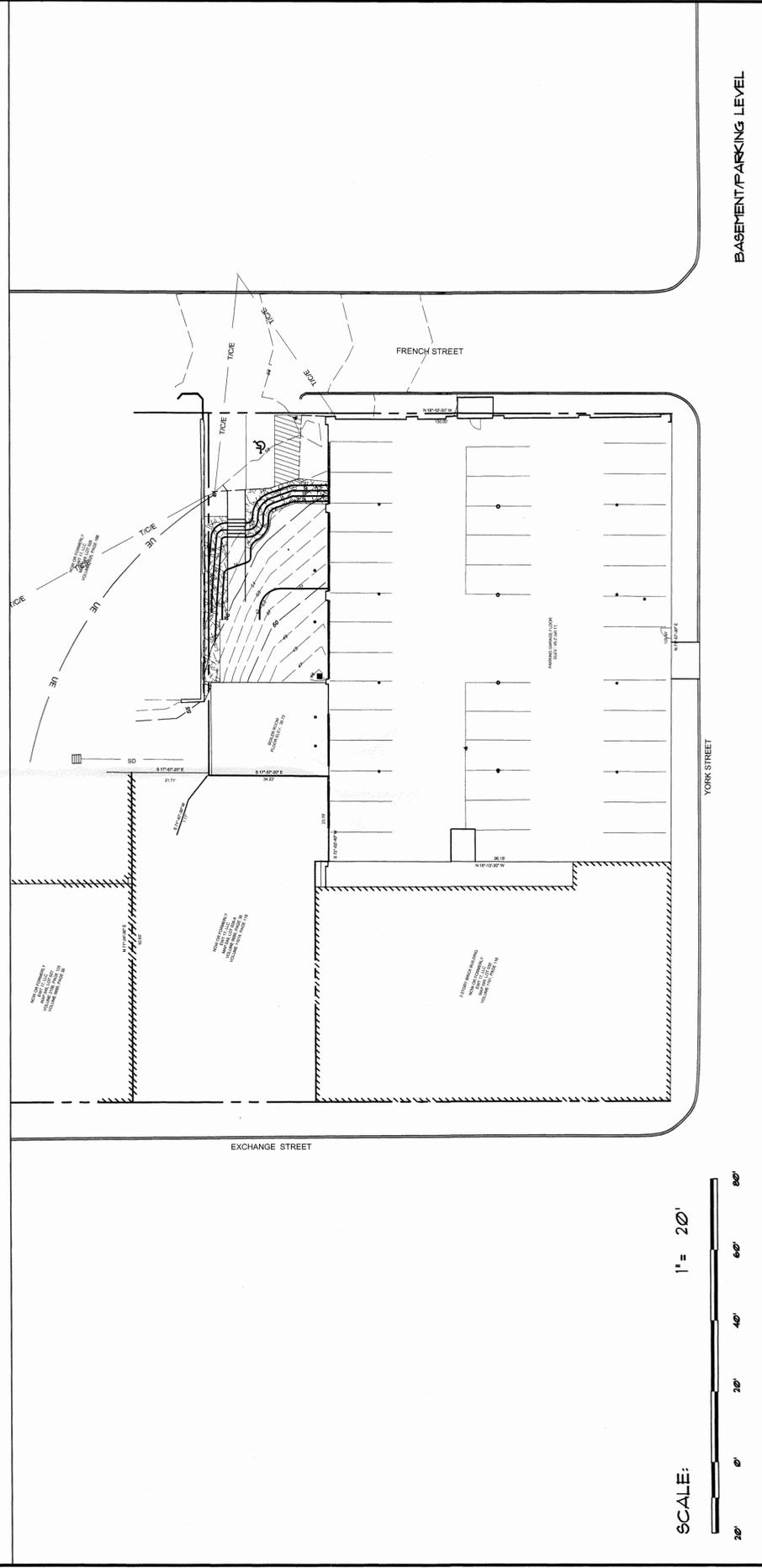
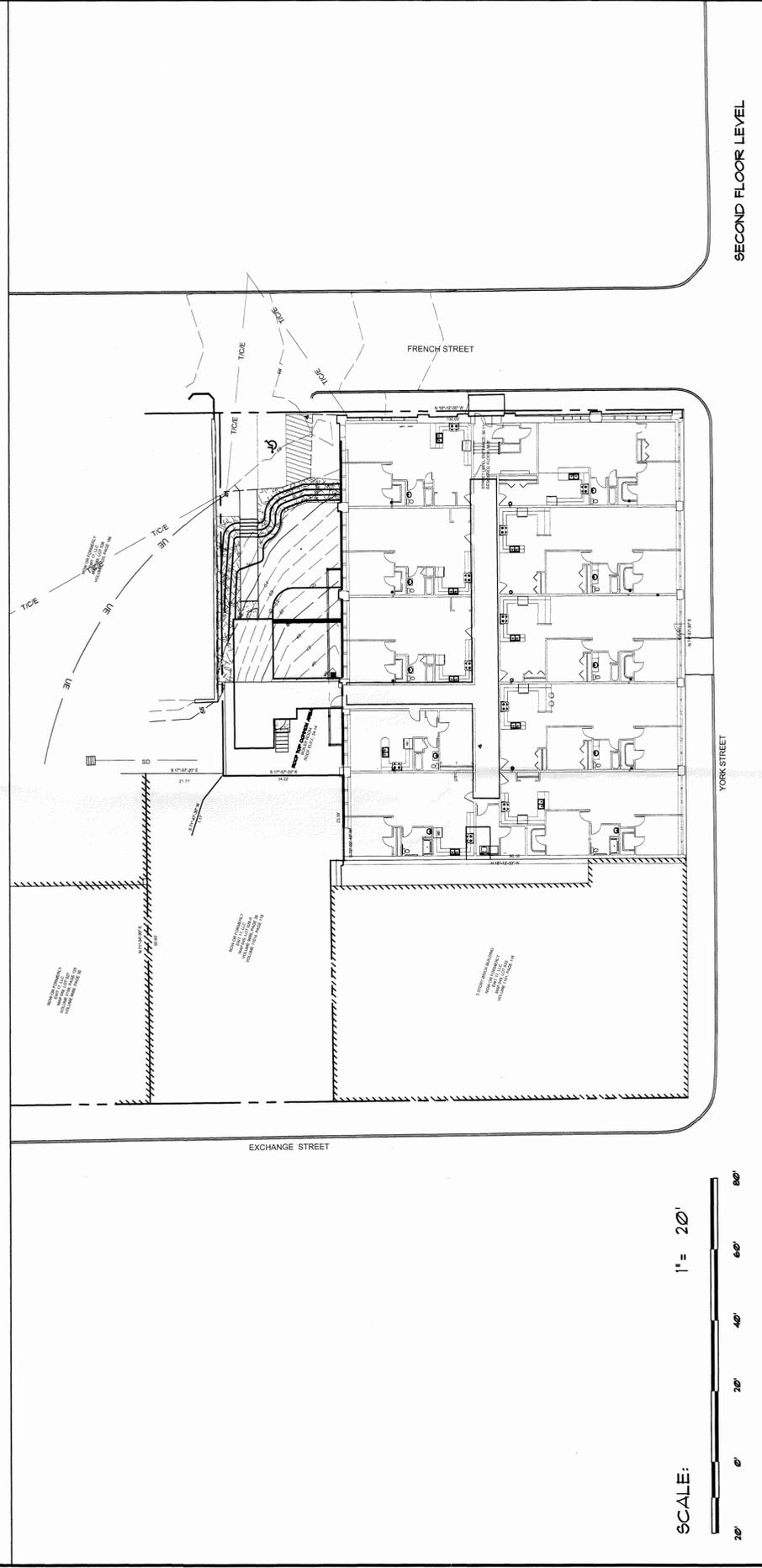
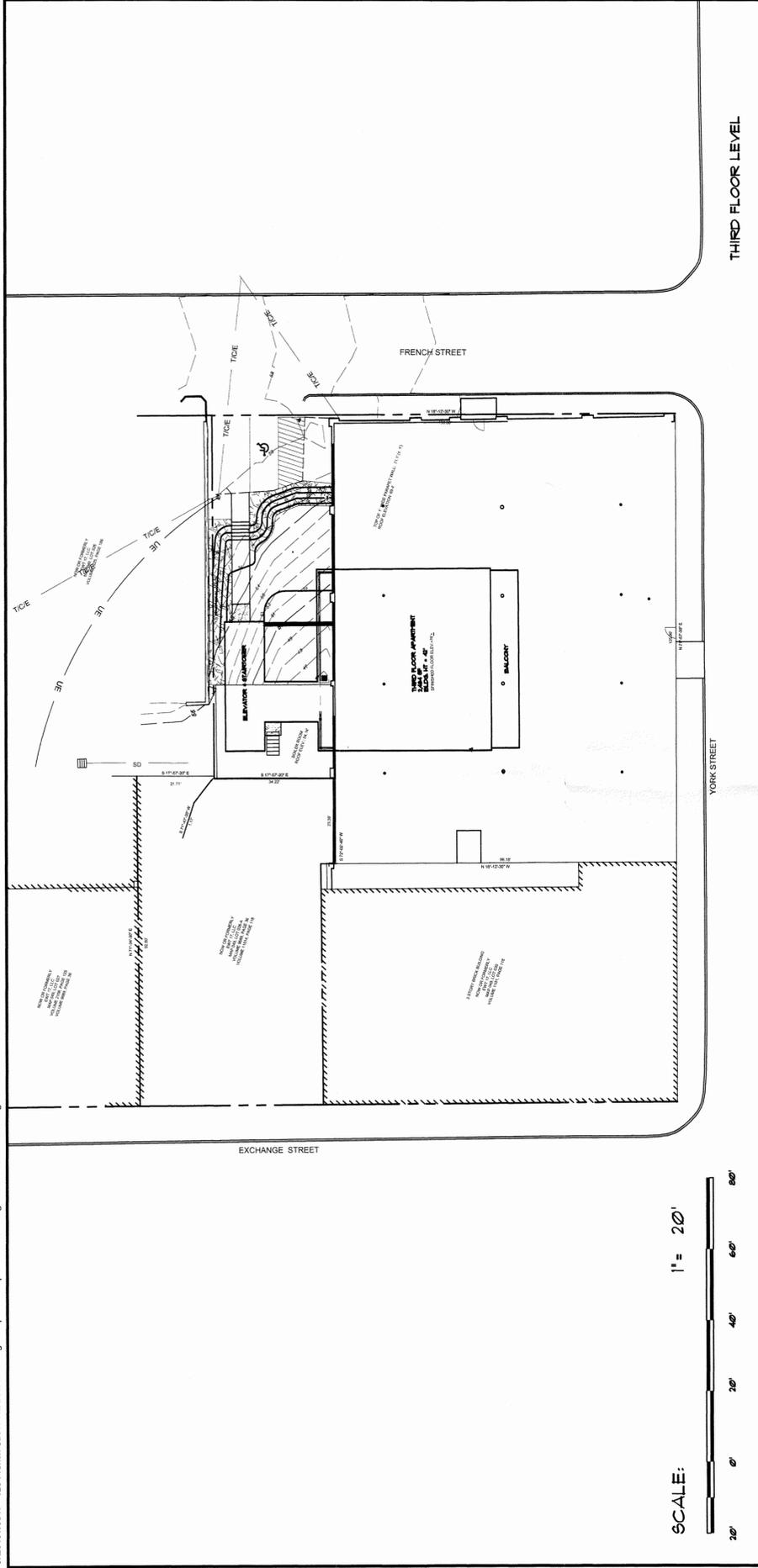
FOR PERMIT ONLY
 NOT FOR CONSTRUCTION

FRED S. MARSHALL
 LICENSED PROFESSIONAL ENGINEER
 STATE OF MAINE
 01516

DRAWINGS NOT TO BE USED FOR PERMITTING PURPOSES UNLESS THEY HAVE BEEN REVIEWED FOR PERMITTING PURPOSES BY THE ENGINEER

SHEET 2 OF 3

C2



Plymouth Engineering, Inc.
 P.O. Box 46, 80 Lower Detroit Road
 Plymouth, Maine 04869
 Tel: (207) 257-2071 Fax: (207) 257-2130
 info@plymouthengineering.com
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 NOT FOR CONSTRUCTION**

FRED S. MARSHALL
 LICENSED PROFESSIONAL ENGINEER
 STATE OF MAINE
 22

DRRAWINGS NOT BE USED FOR PLANNING PURPOSES ONLY AND ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

SHEET 3 OF 3

C3

DESIGNED: FSM
 DRAWN: KGE
 CHECKED: CAE
 APPROVED: CAE
 PLAN DATE: June 3, 2016
 CLIENT: BELCA Company
 Bangor, Maine 04402-2400

PROJECT NO: 15017
 DRAWING NO: 15017BaseP2.dwg
 FIELD NO: N/A
 SCALE: As Noted
 DATE ISSUED: -

PROJECT NAME:
 French Street Apartments
 120 French Street
 Bangor
 SHEET NAME:
 Parking, Second & Third Floor Plans

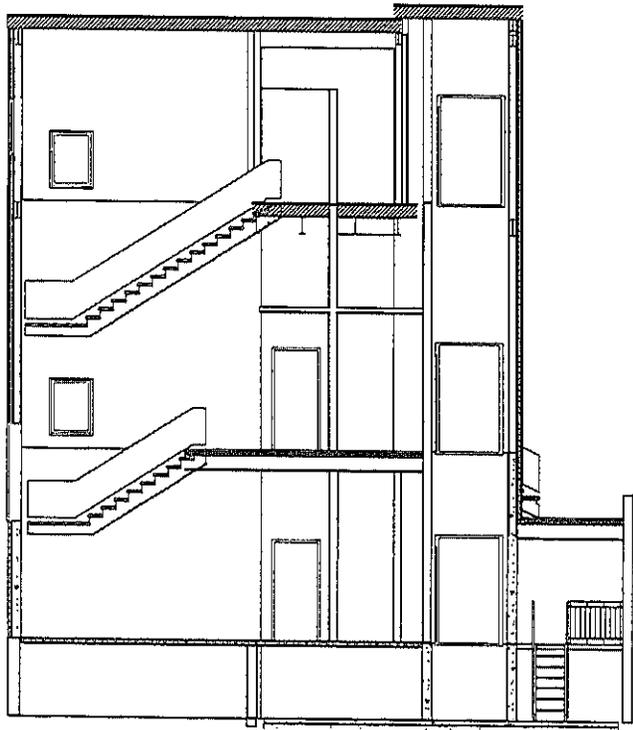
REVISIONS

NO.	DATE	DESCRIPTION	BY	APP'D.
1	ISSUE	ADD FLOOR LEVEL INFORMATION		

RECEIVED

JUN 15 2016

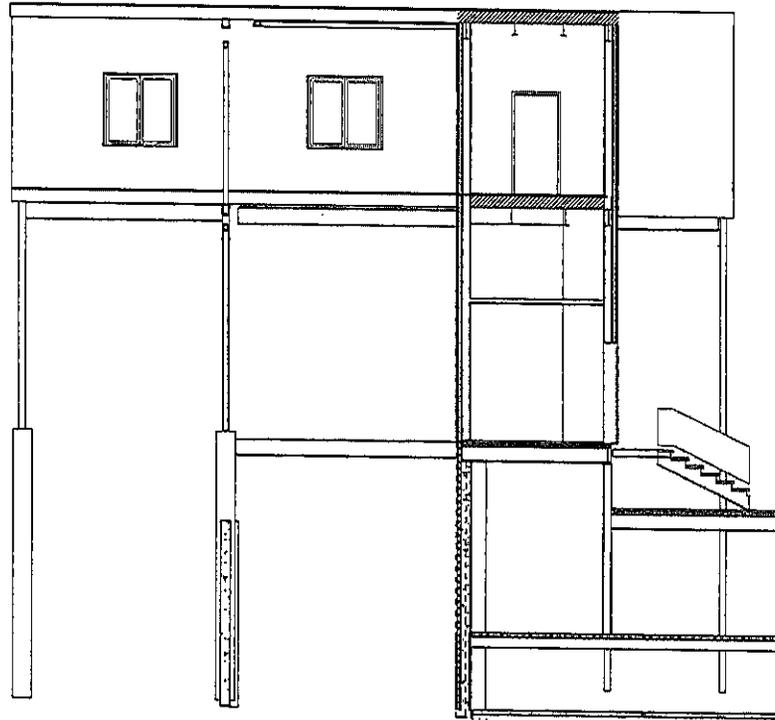
C & ED Inc Planning



1

SECTION

1/8" = 1'-0"



2

SECTION

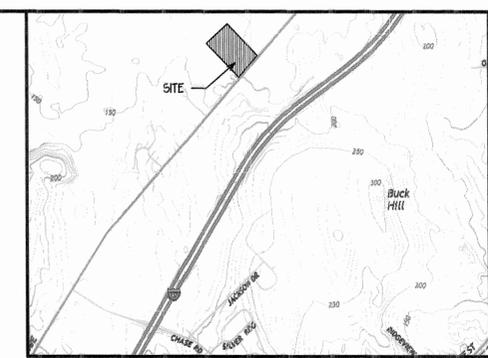
1/8" = 1'-0"

120 FRENCH STREET		DATE: 04/18/18	SCALE: 1/8" = 1'-0"
120 FRENCH STREET (Contact Address)		PROJECT: 180721	ARCHITECT: STEWART BRECHER ARCHITECTS
Sections 6 & 7		PROJECT SHEET FOR BOOK AND CD 20180317 www.stewartbrecher.com	
PROGRESS PRINT NOT FOR CONSTRUCTION			
drawing:			



LEGEND

SYMBOL	DESCRIPTION
---	LOCUS/PROPOSED PROPERTY LINE
- - -	ABUTTING PROPERTY LINE
---	SETBACK
---	PROPOSED CENTERLINE
○	IRON PIPE/ROD FOUND
□	MONUMENT FOUND
---	STREAM
---	WETLANDS
---	TREE LINE
---	PROPOSED BLDG
---	EXISTING BLDG
---	PROPOSED PAVEMENT
---	EXISTING GRAVEL
○	TEST PIT (SEE HHE-200)



LOCATION MAP
SCALE 1"=2000'

SUBDIVISION NOTES

- RECORD OWNER OF PROPERTY IS JING DE DENG, 1746 STILLWATER AVE, BANGOR, MAINE BY DEED RECORDED PCRD, BOOK 13885, PAGE 349.
 - THE BOUNDARY LINES ARE BASED ON A BOUNDARY SURVEY PREPARED BY PLUSGA + DAY, BANGOR, MAINE.
 - TOPOGRAPHIC DATA FROM MAINE GIS LIDAR DATA.
 - THE PROPERTY IS IN THE RURAL RESIDENTIAL + AGRICULTURAL DISTRICT (RR+A). THIS DEVELOPMENT IS A PLANNED GROUP DEVELOPMENT SUBDIVISION.
- | SPACE AND BULK | ZONING | PROPOSED |
|----------------------|--------|----------|
| MIN LOT SIZE | 1.5 AC | 16.32 AC |
| MIN LOT WIDTH | 200 FT | N/A |
| MIN FRONT SETBACK | 40 FT | 25 FT |
| MIN SIDE SETBACK | 20 FT | 10 FT |
| MIN REAR SETBACK | 30 FT | 48 FT |
| MAX BLDG HGT | 40 FT | 30 FT |
| MAX LOT COVERAGE | 15% | 1.5% |
| MAX IMPERVIOUS RATIO | 0.20 | 0.05 |
- THE PROPERTY IS SHOWN ON TAX MAP R73 AS LOT 6A.
 - TOTAL AREA OF PARCEL IS 16.352 AC.
 - HAMPDEN PROJECT DENSITY UNDER PLANNED GROUP DEVELOPMENT IS 10 UNITS. A TOTAL OF 10 UNITS ARE PROPOSED.
 - WETLANDS ON SITE WERE MAPPED BY ALEITA BURMAN, BURMAN LAND + TREE COMPANY, LLC, ORRINGTON, MAINE. NO IMPACT IS PROPOSED FOR THIS DEVELOPMENT.
 - IMPERVIOUS SURFACE AREAS:

EXISTING	11,295 SF
PROPOSED	33,570 SF
NET INCREASE	22,275 SF

 (NET INCREASE ASSUMES ALL EXISTING STRUCTURES WILL REMAIN.)
 - TOTAL OPEN SPACE PROPOSED IS 6.15 AC OR 37.6%. OPEN SPACE TO BE RETAINED BY OWNER AND SHALL BE PROTECTED IN ITS NATURAL ENVIRONMENTAL CONDITIONS.
 - THIS PROJECT IS A PGD DEVELOPMENT UNDER THE CITY OF BANGOR LAND USE ORDINANCE. THIS PROJECT WILL REQUIRE FURTHER REVIEW BY THE CITY OF BANGOR IF ANY INDIVIDUAL UNIT IS SOLD AND/OR THE PROJECT SHIFTS TO A CONDOMINIUM DEVELOPMENT.

PLANNING BOARD APPROVAL

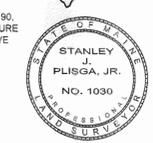
THIS IS TO CERTIFY THAT AFTER REVIEWING THE SUBDIVISION SHOWN BY THIS PLAN AND CONSIDERING EACH OF THE CRITERIA SET FORTH IN M.R.S.A. TITLE 30-A, SECTION 4404 (AS AMENDED) THE UNDERSIGNED HAVE MADE FINDINGS OF FACT ESTABLISHING THAT THE SUBDIVISION SHOWN BY THIS PLAN MEETS ALL THE CRITERIA SET FORTH AND THEREFORE THE SUBDIVISION IS APPROVED.

APPROVED: CITY OF BANGOR PLANNING BOARD

DATED APPROVED: _____
DATED SIGNED: _____



PLUSGA & DAY
LAND SURVEYORS
72 MAIN STREET
BANGOR, MAINE



SURVEY STANDARD
THIS PLAN WAS PREPARED FROM INFORMATION OBTAINED BY A SURVEY CONFORMING SUBSTANTIALLY TO THE REQUIREMENTS OF TECHNICAL STANDARDS CONTAINED IN CHAPTER 90, PART 2 OF THE RULES OF THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 2001.

STANLEY J. PLUSGA, JR., MAINE LICENSED PROFESSIONAL LAND SURVEYOR No. 1030

REV:	DATE:	BY:	COMMENTS:
	16 MAY 16	JRK	SCALE: 1"=60'
PROJECT NO: 628			

SUBDIVISION PLAN
FIRST TOWN COMMUNITY
1746 STILLWATER AVE
BANGOR, MAINE

RECORDED OWNER:
JING DE DENG
1746 STILLWATER AVE
BANGOR, ME 04401

RECEIVED
MAY 18 2016
C&ED and Planning

STATE OF MAINE
JAMES R. RISER
LICENSED PROFESSIONAL ENGINEER
16-1119-116

KISER
ENGINEERING & DEVELOPMENT CONSULTING
PO BOX 282, HAMPDEN, MAINE 04444
207-862-4700



1097.53'
S 43°27'33" E (GRID)

1032.16'
N 43°17'25" W (GRID)

WETLANDS/UPLAND INCLUSIONS
WERE NOT FULLY MAPPED IN
THIS AREA

WETLANDS/UPLAND INCLUSIONS
WERE NOT FULLY MAPPED IN
THIS AREA

670.46'
N 41°6'55" E (GRID)

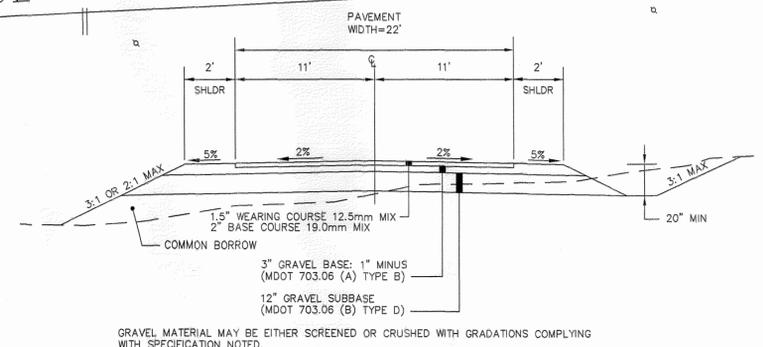
STILLWATER AVENUE

PHASING NOTES

NOTE: IF CONSTRUCTION DISTURBS MORE THAN 1 ACRE AT ANY ONE TIME THAN THE OWNER WILL BE REQUIRED TO FILE A STORMWATER LAW FBR APPLICATION FORM.

PHASE 1: BUILD MAIN ROAD TO UNIT 2. CONSTRUCT WASTEWATER DISPOSAL FIELD #1 AND DRILL WELL #2. CONSTRUCT UNITS 3 THRU 5 AND REMODEL UNIT 2. CONSTRUCT 50'x50' TEMPORARY GRAVEL TURN-AROUND AFTER DRIVEWAY FOR UNIT 2.

PHASE 2: CONSTRUCT ROAD THROUGH TO THE TURN-AROUND. CONSTRUCT WASTEWATER DISPOSAL FIELD #2 AND DRILL WELL #3. CONSTRUCT UNITS 6 THRU 10. REMOVE TEMPORARY GRAVEL TURN-AROUND.



GRAVEL MATERIAL MAY BE EITHER SCREENED OR CRUSHED WITH GRADATIONS COMPLYING WITH SPECIFICATION NOTED.

STREET SECTION

EROSION CONTROL NOTES:

- AT THE START OF CONSTRUCTION SILT FENCE OR EROSION CONTROL MIX BERM SHALL BE PLACED AS SHOWN ON THE PLANS AND/OR AS REQUIRED BY PROGRESSIVE CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PROVIDE AND PLACE SILT FENCE OR MIX BERMS ON AN AS NEEDED BASIS TO PROTECT THE OFF-SITE RESOURCES AGAINST EROSION DUE TO CONSTRUCTION ACTIVITIES. THE ENGINEER MAY DIRECT ADDITIONAL SILT FENCE TO BE PLACED BASED UPON SITE OBSERVATIONS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED ACCORDING TO THE SPECIFICATIONS OF MANUFACTURER'S REQUIREMENTS. CONTRACTOR SHALL MAINTAIN ALL MEASURES IN FUNCTIONING ORDER AS REQUIRED TO MINIMIZE EROSION. REFERENCE FOR INSTALLATION AND MAINTENANCE MAY BE OBTAINED FROM THE HANDBOOK "MAINE EROSION AND SEDIMENT CONTROL BEST PRACTICES" THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES AND CONSTRUCTION ACTIVITIES TO COMPLY WITH THE MCGP 2011.
- SOIL STOCKPILES ON-SITE SHALL BE PROTECTED BY SILT FENCE ON THE DOWN GRADIENT SIDE. ALL OFF-SITE STOCKPILES OR DISPOSAL SITES SHALL BE PROTECTED BY APPROPRIATE EROSION CONTROL MEASURES. STOCK PILES SHALL BE VEGETATED AS SPECIFIED IN OTHER SECTIONS. CONTRACTOR TO PROVIDE THE ENGINEER LOCATION AND ACCESS TO ANY OFF-SITE STOCKPILE.
- TEMPORARY SOIL PROTECTION MEASURES SHALL BE APPLIED TO DISTURBED SOIL AREAS NOT PROPOSED TO BE REMOVED WITHIN 14 DAY PERIOD. DURING WINTER CONSTRUCTION MEASURES SHALL BE APPLIED AT THE END OF EACH DAY AND PRIOR TO THE GROUND FREEZING OR SNOWFALL.
- TEMPORARY SOIL PROTECTION:
 - SEED BED PREPARATION - SOIL SHALL BE LOOSENED TO A DEPTH OF 2" AND TREATED WITH LIME AND FERTILIZER (10-10-10) AT RATES OF 138 AND 13.8 LB/UNT. RESPECTIVELY. A UNIT IS 1000 SF.
 - SEEDING - TEMPORARY SEEDING SHALL BE ANNUAL OR WINTER RYE PLANTED AT 1.5 AND 3.0 LB/UNT. RESPECTIVELY. ANNUAL RYE SHALL BE PLANTED FROM APRIL 15TH THROUGH AUGUST 15TH AND WINTER RYE TO OCTOBER 15TH. NO SEEDING SHALL OCCUR PAST OCTOBER 15TH.
 - PROTECTION OF SOIL/SEED - SEED OR SOIL SHALL BE PROTECTED WITH HAY MULCH AT A RATE OF 100 LB/UNT. 50% COVERAGE IS REQUIRED FOR MULCH AND NETTING OR EROSION CONTROL MESH SHALL BE USED ON SLOPES OF 1:1 OR MORE AND THE SLOPE EXTERIOR FOR MORE THAN 40 FT. SLOPES SHALL USE EROSION CONTROL MESH. FOR WORK WITHIN THE SHORLAND ZONE HAY MULCH SHALL BE APPLIED AT A RATE OF 50 LB/UNT. WINTER APPLICATION SHALL BE AT A RATE OF 150-200 LB/UNT.
- PERMANENT SOIL PROTECTION MEASURES SHALL BE INITIATED WITHIN 7 DAYS OF FINAL GRADING OPERATIONS OR IF THE AREA WILL NOT BE WORK FOR OVER A YEAR.
- PERMANENT SOIL PROTECTION:
 - LOAM - SPREAD LOAM OVER THE DISTURBED AREA TO A DEPTH AS SPECIFIED ON THE PLANS OR 4" MIN.
 - SEED BED PREPARATION - THE SEED BED SHALL BE LOOSENED AND TREATED WITH LIME AND FERTILIZER (10-20-20) AT RATES OF 138 AND 13.8 LB/UNT. RESPECTIVELY AND WORKED INTO THE SOIL PRIOR TO SEED APPLICATION.
 - SEEDING - ALL SEED SHALL BE A PREMIUM SEED MIXTURE SUITABLE FOR THE AREA TO BE SEEDDED. ALL SEEDING SHALL BE COMPLETED PRIOR TO OCTOBER 1ST.
 - PROTECTION - SEED SHALL BE PROTECTED BY HAY MULCH APPLIED AT 100 LB/UNT AND ANCHORED WITH RHY PLUS OR AEROSPARY 70. HAY MULCH WITH NETTING OR EROSION CONTROL MESH SHALL BE PLACED ON SLOPES GREATER THAN 1:1 AND AT THE BOTTOM OF ALL SLOPES. THE OWNER'S REPRESENTATIVE MAY REQUIRE EROSION CONTROL MESH IF DRAINAGE/SLOPE CONDITIONS MERIT THE SUBSTITUTION.
- CATCH BASINS SHALL BE PROTECTED BY HAY BALE BARRIERS OR SEDIMENT SACKS AT THE TIME OF INSTALLATION AND BASINS WITHIN VEGETATED AREAS SHALL USE 2 ROWS OF SOD AROUND THE GRATE AT THE TIME OF FINAL STABILIZATION.
- 4" RIPRAP SHALL BE PLACED ON ALL SLOPES EXCEEDING 2:1. SLOPES RANGING FROM 3:1 TO 2:1 MAY REQUIRE ADVANCED STABILIZATION AND ARE TO BE REVIEWED IN AN INDIVIDUAL BASIS.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN A CONSTRUCTION ENTRANCE AT THE ACCESS TO STILLWATER AVE. THE ENTRANCE SHALL BE MAINTAINED FOR THE DURATION AND STILLWATER AVE SHALL BE KEPT CLEAN OF ANY CONSTRUCTION DEBRIS.
- DURING DRY WEATHER THE CONTRACTOR SHALL MINIMIZE DUST EMISSIONS BY APPLICATION OF WATER AND/OR GYLCOPY ON AN AS NEEDED BASIS.
- SOD SHALL BE USED TO STABILIZE DISTURBED AREAS AT THE INLETS AND OUTLETS OF ALL CULVERTS AND FIELD BASINS. UNLESS OTHERWISE NOTED ON THE PLANS. TWO ROWS OF SOD SHALL BE USED TO STABILIZE FIELD BASIN INLETS DURING FINAL LOAMING AND SEEDING.
- DOWNSTREAM FLOWS SHALL BE DIRECTED TO TEMPORARY SEDIMENT BASINS OR EXISTING VEGETATED AREAS. FLOWS SHALL NOT BE DISCHARGED TO DISTURBED AREAS OR FILTER BASINS.
- INSPECTION AND MAINTENANCE (BY CONTRACTOR'S QUALIFIED REPRESENTATIVE)
 - A VISUAL INSPECTION SHALL BE PERFORMED WEEKLY OR AFTER SIGNIFICANT RAINFALL EVENTS (GREATER THAN 0.1"). REPAIR STRUCTURES AS REQUIRED AND WITHIN 7 DAYS OR THE NEXT STORM EVENT.
 - THE MAPPED WETLAND AND MINOR STREAMS LOCATED ON THE PROPERTY THAT ARE ADJACENT TO CONSTRUCTION ACTIVITIES SHOULD BE REVIEWED ON A DAILY BASIS TO CONFIRM EROSION PROTECTION MEASURES ARE SECURELY IN PLACE AND FUNCTIONING.
 - SEDIMENT FROM BEHIND SILT FENCE, STONE CHECK DAM AND/OR HAY BALES SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND REGRADDED INTO THE SITE.
 - SEEDING AREAS SHALL BE INSPECTED EVERY 7 DAYS UNTIL 75% COVERAGE IS ACHIEVED. SEED FAILURES SHALL BE RESEEDDED AND THE CONTRACTOR SHALL PROVIDE APPROPRIATE SOIL MOISTURE CONDITIONS.
 - EROSION CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR ONCE 90% VEGETATION COVERAGE HAS BEEN ESTABLISHED OR WITHIN 30 DAYS AFTER PERMANENT STABILIZATION MEASURES. THESE AREAS SHALL BE GRADDED AND STABILIZED UPON REMOVAL.
 - THE INSPECTOR SHALL KEEP A LOG OF ACTIVITIES INCLUDING DATES, OBSERVATIONS AND CORRECTIVE ACTIONS, IF NEEDED.

LOCATION MAP
SCALE 1"=2000'

GENERAL NOTES

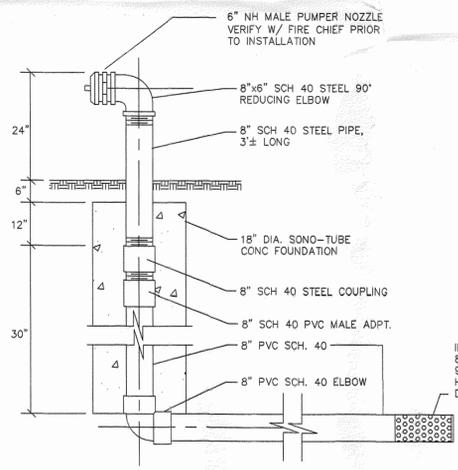
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 - THE BOUNDARY LINES ARE BASED ON A BOUNDARY SURVEY PREPARED BY PLUGMA + DAY, BANGOR, MAINE.
 - TOPOGRAPHIC DATA FROM MAINE GIS LIDAR DATA.
 - THE PROPERTY IS IN THE RURAL RESIDENTIAL + AGRICULTURAL DISTRICT (RR+A). THIS DEVELOPMENT IS A PLANNED GROUP DEVELOPMENT SUBDIVISION.
- | SPACE AND BULK | ZONING | PROPOSED |
|----------------------|--------|----------|
| MIN LOT SIZE | 1.5 AC | 16.32 AC |
| MIN LOT WIDTH | 200 FT | 114 FT |
| MIN FRONT SETBACK | 40 FT | 25 FT |
| MIN SIDE SETBACK | 20 FT | 10 FT |
| MIN REAR SETBACK | 30 FT | 48 FT |
| MAX BLDG HGT | 40 FT | 30 FT |
| MAX LOT COVERAGE | 15% | 15.1% |
| MAX IMPERVIOUS RATIO | 0.20 | 0.05 |
- THE PROPERTY IS SHOWN ON TAX MAP R73 AS LOT GA.
 - TOTAL AREA OF PARCEL IS 16.352 AC.
 - MAXIMUM PROJECT DENSITY UNDER CLUSTER DEVELOPMENT IS 10 UNITS. A TOTAL OF 10 UNITS ARE PROPOSED.
 - WETLANDS ON SITE WERE MAPPED BY ALEITA BURMAN, BURMAN LAND + TREE COMPANY, LLC, ORRINGTON, MAINE. NO IMPACT IS PROPOSED FOR THIS DEVELOPMENT.
 - IMPERVIOUS SURFACE AREAS:

EXISTING	11,295 ± SF
PROPOSED	33,270 ± SF
NET INCREASE	22,275 ± SF

 (NET INCREASE ASSUMES ALL EXISTING STRUCTURES WILL REMAIN)
 - PROPOSED BUILDINGS 3 THRU 5 ARE 25'x30', 1 1/2-STORY STRUCTURES. BUILDINGS 6 THRU 10 ARE 25'x40', 1-1/2-STORY STRUCTURES.
 - 2 PARKING SPACES PER UNIT IS PROVIDED; 1 IN GARAGE AND 1 IN DRIVEWAY. TRASH COLLECTION TO BE BY PRIVATE SERVICE WITH EACH UNIT PROVIDED CONTAINERS TO BE PLACED ROADSIDE.
 - EXISTING WATER LINES SHOWN AS APPROXIMATE BASED ON LIMITED DATA AVAILABLE.
 - THIS PROJECT IS A PGD DEVELOPMENT AND THE OWNER IS RESPONSIBLE FOR ALL FACETS OF THE PROJECT INCLUDING MAINTENANCE OF THE BUILDINGS, LAWNS, COMMON AREAS, SNOW REMOVAL, UTILITIES, WELLS, SEPTIC SYSTEMS, ETC. THE OWNER SHALL MAINTAIN A REPLACEMENT WELL PUMP AND REPLACEMENT SEPTIC PUMP ON SITE FOR EMERGENCY REPLACEMENT CONDITIONS. THE CITY WILL NOT BE RESPONSIBLE FOR THE UTILITIES OR ROAD SYSTEM.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	CENTERLINE	---
---	BUILDING W/DOOR	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	TREELINE	---
---	CONTOURS	---
---	WATER	---
---	SEWER	---
---	UTILITY POLE	---
---	CULVERT	---
---	SILT FENCE	---
---	BLDG LIGHT	---
---	TEST PIT (SEE HHE-200)	---



DRY HYDRANT DETAIL
NOT TO SCALE

SCALE: 1"=40'
40' 0' 40' 80' 120' 160'

GRANITE TOWN LINE
MARKER FOUND

CONSTRUCTION NOTES

- ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. TEST PITS MAY BE REQUIRED. DIG SAFE SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
- ALL TREES SHALL BE CLEARED TO THE LIMITS OF THE GRADING SHOWN ON THE PLAN.
- OVERHEAD UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS OF EMERA MAINE. IF INSTALLED BY A PRIVATE CONTRACTOR, CONSTRUCTION PLANS SHALL BE APPROVED BY BANGOR HYDRO.
- SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE MAINE SUBSURFACE WASTEWATER DISPOSAL RULES.
- STORM DRAIN AND/OR CULVERTS SHALL BE SMOOTH WALL HDPE PIPE OR APPROVED EQUAL.
- WATER LINE AND WELL CONSTRUCTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MAINE PLUMBING CODE AND WELL DRILLERS' RULES. THE WATER SERVICES SHALL BE 1" HDPE PRESSURE PIPE AND WATER METERS SHALL BE INSTALLED FOR EACH SERVICE AND LOCATED IN THE WELL HOUSES. THE EXISTING WELL SERVICES SHALL BE UPGRADED TO INCLUDE THE WATER METERS.
- THE WATER PIPES AND SEWER PIPES/STRUCTURES SHALL MAINTAIN A 10' HORIZONTAL AND 18" VERTICAL SEPARATION UNLESS OTHERWISE APPROVED.

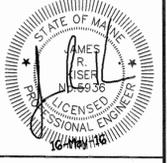
REV:	DATE:	BY:	COMMENTS:
	16 MAY 16	JRK	SCALE: 1"=40'

PROJ. NO: 628

SITE PLAN
FIRST TOWN COMMUNITY

1746 STILLWATER AVE
BANGOR, MAINE

FOR:
JACKY DENG
1746 STILLWATER AVE
BANGOR, ME 04401

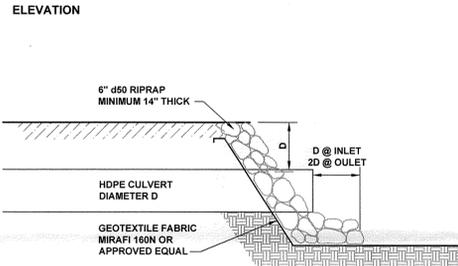
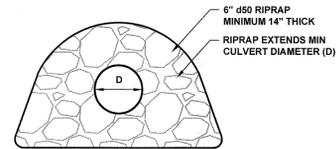


ENGINEERING & DEVELOPMENT CONSULTING
PO BOX 282, HAMPDEN, MAINE 04444
207-862-4700

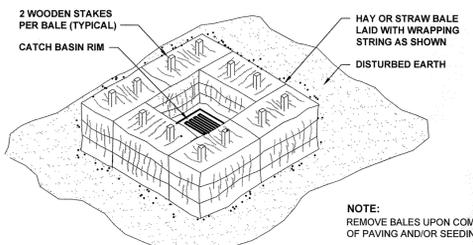
EROSION CONTROL NOTES

1. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENTATION CONTROL BMPs, PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
2. SILT FENCE WILL BE INSPECTED, REPLACED AND/OR REPAIRED IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR LOSS OF SERVICEABILITY DUE TO SEDIMENT ACCUMULATION. AT A MINIMUM, ALL EROSION CONTROL DEVICES WILL BE OBSERVED WEEKLY.
3. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO CONSTRUCTION SITE.
4. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY A SUITABLE GROWTH OF GRASS. ONCE A SUITABLE GROWTH OF GRASS HAS BEEN OBTAINED, ALL TEMPORARY EROSION CONTROL ITEMS SHALL BE REMOVED BY THE CONTRACTOR. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THEY ARE REMOVED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, SEED, AND MULCHED IMMEDIATELY.
5. ALL DISTURBED AREAS WILL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. A SUITABLE BINDER SUCH AS CURASOL OR TERRACK WILL BE USED ON THE HAY MULCH FOR WIND CONTROL.
7. IF FINAL SEEDING OF DISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15th OF THE YEAR OF CONSTRUCTION, THEN ON THAT DATE THESE AREAS WILL BE GRADED AND SEEDED WITH WINTER RYE AT THE RATE OF 112 POUNDS PER ACRE OR 3 POUNDS PER 1000 SQUARE FEET. THE RYE SEEDING WILL BE PRECEDED BY AN APPLICATION OF 3 TONS OF LIME AND 800 LBS. OF 10-20-20 FERTILIZER OR ITS EQUIVALENT. MULCH WILL BE APPLIED AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET.
8. IF THE RYE SEEDING CANNOT BE COMPLETED BY OCTOBER 1st OR IF THE RYE DOES NOT MAKE ADEQUATE GROWTH BY DECEMBER 1st, THEN ON THOSE DATES, HAY MULCH WILL BE APPLIED AT 150 POUNDS PER 1000 SQUARE FEET.
9. INTERIOR SILT FENCES ALONG CONTOUR DIVIDING FLAT AND STEEP SLOPES, AREAS WITH DIFFERENT DISTURBANCE SCHEDULES, AROUND TEMPORARY STOCKPILES OR IN OTHER UNSPECIFIED POSSIBLE CIRCUMSTANCES SHOULD BE CONSIDERED BY THE CONTRACTOR. THE INTENT OF SUCH INTERIOR SILT FENCES IS TO LIMIT SEDIMENT TRANSPORT WITHIN THE SITE TOWARD THE PROTECTED CATCH BASIN INLETS TO MINIMIZE SEDIMENT REMOVAL REQUIRED BY THE EROSION CONTROL NOTE 9 PROTECTIONS AND EXTEND LIFE OF SUCH DEVICES.
10. BASIC STANDARDS - EROSION CONTROL MEASURES: MINIMUM EROSION CONTROL MEASURES WILL NEED TO BE IMPLEMENTED AND THE CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN ALL COMPONENTS OF THE EROSION CONTROL PLAN UNTIL THE SITE IS FULLY STABILIZED. HOWEVER, BASED ON SITE AND WEATHER CONDITIONS DURING CONSTRUCTION, ADDITIONAL EROSION CONTROL MEASURES MAY NEED TO BE IMPLEMENTED. ALL AREAS OF INSTABILITY AND EROSION MUST BE REPAIRED IMMEDIATELY DURING CONSTRUCTION AND NEED TO BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED OR VEGETATION IS ESTABLISHED. A CONSTRUCTION LOG MUST BE MAINTAINED FOR THE EROSION AND SEDIMENTATION CONTROL INSPECTIONS AND MAINTENANCE.

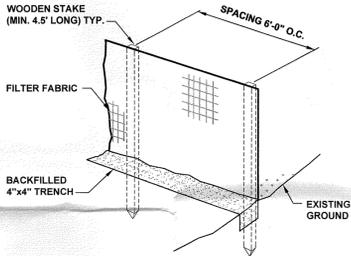
THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES AS PUBLISHED IN 1991 BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION HAS BEEN CHANGED TO THE "MAINE EROSION AND SEDIMENT CONTROL BMPs" PUBLISHED BY THE MAINE DEP IN 2003. ALL REFERENCES SHOULD BE CHANGED TO THE NEW MANUAL. [HTTP://WWW.MAINE.GOV/DEP/WQ/DOC/STAND/ESC/SCBMPs/INDEX.HTM](http://www.maine.gov/dep/wq/doc/stand/escbmps/index.htm)



TYPICAL CULVERT INLET/OUTLET PROTECTION DETAIL
N.T.S.

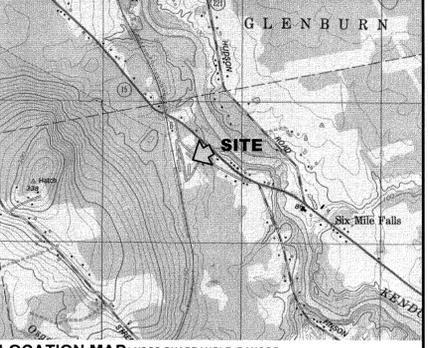


LOW POINT SEDIMENTATION CONTROL BARRIER
N.T.S.



- NOTES:**
1. KEY FABRIC IN A 4"x4" TRENCH W/BACKFILL.
 2. SILT FENCE SHALL BE A 3' FENCE WITH A MINIMUM GRAB STRENGTH OF 120 LBS.

SILT FENCE DETAIL
N.T.S.



LOCATION MAP: USGS QUADRANGLE: BANGOR
SCALE: 1"=2000'
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LEGEND:

DESCRIPTION	EXISTING	PROPOSED
APPROX. PROPERTY LINE	---	---
EDGE OF GRAVEL	---	---
PARKING SETBACK	SS	---
ZONING LINE	Z	Z
MINOR FOOT CONTOUR	---	---
MAJOR FOOT CONTOUR	---	---
OVERHEAD UTILITY	OHU	---
UNDERGROUND UTILITY	UGU	---
FENCE	---	---
CATCH BASIN	CB	---
MANHOLE	CH	---
UTILITY POLE	UP	---
EDGE OF PAVEMENT	---	---
SILT FENCE	SF	---
TREES/SHRUBS	TS	---
PROPOSED PAVEMENT/ CONCRETE AREA	---	---

- PLAN REFERENCE:**
1. PLAN ENTITLED "SITE PLAN" PREPARED BY PLISGA & DAY LAND SURVEYORS, DATED SEPTEMBER 10, 2008.
 2. 2' CONTOURS INTERPOLATED FROM A LIDAR-DERIVED 2-METER DIGITAL ELEVATION MODEL PRODUCT COURTESY OF THE USDA AS PART OF THE LIDAR FOR THE NORTHEAST PROJECT, 2011.
 3. PLAN ENTITLED "PROPERTY BOUNDARY SURVEY" PREPARED BY PLISGA & DAY LAND SURVEYORS, DATED APRIL 10, 2016.
 4. TOPO SURVEY CONDUCTED BY CES, INC. ON MAY 6, 2016.

OWNER:
AMERICAN IRON & METAL, USA, LLC.
2630 NORTH BANGOR ROAD,
BANGOR, MAINE 04401

ENGINEER:
CES, INC.
465 SOUTH MAIN STREET
PO BOX 639
BREWER, MAINE 04412

DEVELOPMENT TABLE

DESCRIPTION	EXISTING			PROPOSED			ALLOWED
	2C	1B	TOTAL	2C	1B	RESULTING TOTAL	
LOT AREA	25.5 ACRES	1.36 ACRES	26.86 ACRES	-	1.36 ACRES	26.86 ACRES	NO MIN.
BUILDING FOOTPRINT	28,588 SF	0	28,588 SF	-	0	28,588 SF	-
IMPERVIOUS SURFACE RATIO	0.321	0.536	0.332 (WEIGHTED)	-	0.536	0.332 (WEIGHTED)	-
MAXIMUM LOT COVERAGE	2.57%	0	2.44% (WEIGHTED)	-	0	2.44% (WEIGHTED)	40% MAX.
FLOOR AREA RATIO	.026	0	.024 (WEIGHTED)	-	0	.024 (WEIGHTED)	1.0
BUILDING HEIGHT	-	-	-	-	-	-	-

ZONING:
ZONE DESIGNATION = UID (URBAN INDUSTRY DISTRICT)
RR+A (RURAL RESIDENTIAL DISTRICT)
MAP: R11 LOT: 2C / 1B

MUNICIPAL SETBACKS:
PARKING
FRONT: 10 FEET
REAR: 10 FEET
SIDE: 5 FEET

***PARKING:**
REQUIRED: 16 SPACES (BASED ON 1 SPACE PER 300 SF)
EXISTING: 67 SPACES
*DESIGNATED PARKING LOCATED ON LOT 2C.

SITE PLAN
FOR
AIM RECYCLING
BANGOR, MAINE
GRAPHIC SCALE

1"=50'
DATE: 2016-05-24
DRAWN BY: WVB CHECKED BY: ACH
DESIGNED BY: APPROVED BY:
JOB NUMBER: 11783.001
DRAWING NUMBER: **C101**

NOT FOR CONSTRUCTION

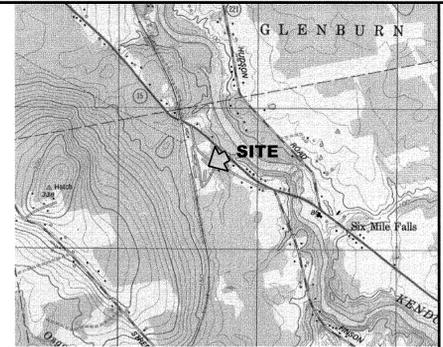
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ALFRED HASKELL, III
13314
06/13/2016
LICENSED PROFESSIONAL ENGINEER

SCALE: 1"=50'
DATE: 2016-05-24
DRAWN BY: WVB CHECKED BY: ACH
DESIGNED BY: APPROVED BY:
JOB NUMBER: 11783.001
DRAWING NUMBER: **C101**

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LOCATION MAP: USGS QUADRANGLE: BANGOR
 SCALE: 1"=2000'
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 44 Main Street
 Waldville, ME
 T. 207-686-2202
 F. 207-686-2204

Brewer
 465 South Main Street
 Brewer, ME
 T. 207-688-4824
 F. 207-688-4821

Lebanon
 87 Chase Street
 Lebanon, ME
 T. 207-256-5270
 F. 207-256-5387



LEGEND:

DESCRIPTION	EXISTING	PROPOSED
APPROX. PROPERTY LINE	---	---
EDGE OF GRAVEL	---	---
PARKING SETBACK	SB	---
ZONING LINE	Z	Z
MINOR FOOT CONTOUR	-118	-120
MAJOR FOOT CONTOUR	GRU	---
OVERHEAD UTILITY	OU	---
UNDERGROUND UTILITY	UGU	---
FENCE	X	X
CATCH BASIN	□	□
MANHOLE	⊙	⊙
UTILITY POLE	⊕	⊕
PAVEMENT	▭	▭

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ENGINEER:
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 465 SOUTH MAIN STREET
 PO BOX 639
 BREWER, MAINE 04412

PROJECT TITLE
**AIM RECYCLING
 BANGOR, MAINE**

SHEET TITLE
SITE PLAN

NO.	DATE	DESCRIPTION	BY	CHKD

NOT FOR CONSTRUCTION

RECEIVED
 JUN 13 2016
 C & ED and Planning

SITE PLAN
 FOR
AIM RECYCLING
 BANGOR, MAINE
 GRAPHIC SCALE

(IN FEET)
 1 inch = 50 ft.

SCALE: 1"=50'
 DATE: 2016-05-24
 DRAWN BY: WAB CHECKED BY: ACH
 DESIGNED BY: APPROVED BY:
 JOB NUMBER: 11783 001
 DRAWING NUMBER:

ALFRED HASKELL, III
 13314
 06/13/2016
 LICENSED PROFESSIONAL ENGINEER

C102