



CITY OF BANGOR

PLANNING DIVISION

COMMUNITY & ECONOMIC DEVELOPMENT

**PLANNING BOARD AGENDA
TUESDAY, MARCH 3, 2026, 7:00 P.M.
COUNCIL CHAMBERS, 1ST FLOOR OF CITY HALL, 73 HARLOW STREET**

1. **CHAIR INTRODUCTION**
2. **OLD BUSINESS**
 - A. **Meeting Minutes** – February 17, 2026
3. **NEW BUSINESS**
 - A. **Land Development Code Amendments**
 - i. **Zone Change – 26 Walter Street – Map-Lot 025-143 – Urban Service District (USD) to Urban Residence 2 District (URD-2)** - To amend the Land Development Code by changing a parcel of land, located at 26 Walter Street, Map-Lot 025-143, from Urban Service District (USD) to Urban Residence 2 District (URD-2). Said area of land contains approximately 0.11 acres total and is more particularly indicated on the map attached hereto and made part hereof. Applicant/Owner: NAHA LLC.
 - B. **Land Development Permits**
 - i. **Land Development Permit – Major Site Development – 570 Stillwater Avenue – Map-Lot R62-001** - Land Development Permit Application – Major Site Development for proposed demolition of front building and expansion of parking lot located on 570 Stillwater Avenue, Map Lot R62-001, in the Shopping & Personal Service District (S&PS). Applicant/Owner: Bangor Retail Management LLC.
4. **OTHER BUSINESS**
 - A. **Climate Migration Panel Discussion**
 - B. **Announcement of Public Information Session on Upcoming Changes to the Land Development Code to Comply with State Laws**
 - C. **Follow-Up/Thoughts on Land Use Plan Updates**
 - D. **Adjournment**



CITY OF BANGOR

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PLANNING BOARD AGENDA TUESDAY, MARCH 3, 2026, 7:00 P.M. COUNCIL CHAMBERS, 1ST FLOOR OF CITY HALL, 73 HARLOW STREET

1. **CHAIR INTRODUCTION**

2. **OLD BUSINESS**

A. **Meeting Minutes** – February 17, 2026 – These are in your packets.

3. **NEW BUSINESS**

A. **Land Development Code Amendments**

- i. **Zone Change – 26 Walter Street – Map-Lot 025-143 – Urban Service District (USD) to Urban Residence 2 District (URD-2)** - To amend the Land Development Code by changing a parcel of land, located at 26 Walter Street, Map-Lot 025-143, from Urban Service District (USD) to Urban Residence 2 District (URD-2). Said area of land contains approximately 0.11 acres total and is more particularly indicated on the map attached hereto and made part hereof. Applicant/Owner: NAHA LLC.
- a) The applicant seeks to amend the Land Development Code by changing a parcel of land, located at 26 Walter Street, Map-Lot 025-143, from the Urban Service District (USD) to Urban Residence 2 District (URD-2). The uses allowed in each of these zones are included in the public notice in your packets.
- b) The land uses around the property consists primarily of a mix of residential and commercial. The zoning around the property consists of Urban Service District (USD), Urban Residence 1 District (URD-1), and Multifamily and Service District (M&SD).
- c) The area is within the growth boundary shown in the 2022 Comprehensive Plan and the future land use map in the Plan shows this property in the Urban Neighborhood area which consists of “medium to high-density residential neighborhoods surrounding the Downtown and encompassing most of the City’s historic residential areas [with] limited commercial and institutional uses that are complementary to the surrounding residential uses”. The Planning Division recommends that the Board find this change to be in alignment with the Comprehensive Plan.

B. Land Development Permits

- i. Land Development Permit – Major Site Development – 570 Stillwater Avenue – Map-Lot R62-001** - Land Development Permit Application – Major Site Development for proposed demolition of front building and expansion of parking lot located on 570 Stillwater Avenue, Map Lot R62-001, in the Shopping & Personal Service District (S&PS). Applicant/Owner: Bangor Retail Management LLC.
- a) The applicant seeks to demolish the front building at 570 Stillwater Avenue and replace it with an expanded parking lot. The change results in a net reduction in impervious surface area.
 - b) There are some materials in your packets that refer to a SLODA modification. These are only included for informational purposes. Staff initially believed this to be part of a SLODA permit, but the original permitted project was never developed and is therefore voided. Therefore, this project does not require a SLODA modification.
 - c) This project falls within the Penjajawoc Overlay Zone and therefore needed to be reviewed by the Penjajawoc Marsh/Mall Management Commission. The Commission made no recommendations on the proposed development and expressed their satisfaction with the proposal.
 - d) Staff comments focused primarily on the requirement for a 20-foot setback and Type E Buffer along Stillwater Avenue where new parking is proposed, the requirement to amend the existing Maine DEP Stormwater Permit for the site, and Bangor Water District's requirements for the fire and domestic service lines.
 - e) The applicant satisfied the requirements for the parking setback and buffer, as well as the Water District requirements, and have been working with DEP on the stormwater amendment. Staff requests that the Board condition approval of the on receiving approval from Maine DEP for their Stormwater Permit amendment.

4. OTHER BUSINESS

A. Climate Migration Panel Discussion

Planning Analyst Matthew Altiero recently attended a panel discussion on climate migration to Maine – whether it's actually happening, what the scale of it is, and what the implications are for communities in Maine. Included in your packets are notes that

Matthew took on the discussion, as well as the presentation slides that were shown. This material is included for your informational purposes.

B. Announcement of Public Information Session on Upcoming Changes to the Land Development Code to Comply with State Laws

In order to make the public aware of the upcoming changes that will be made to the City's Land Development Code due to the recent State laws that have been passed, staff plan to hold an informational session for interested members of the public at the March 17th Planning Board meeting. Staff will give an overview of the proposed first round of changes and will answer any questions that are brought up.

C. Follow-Up/Thoughts on Land Use Plan Updates

D. Adjournment



CITY OF BANGOR

PLANNING DIVISION

COMMUNITY & ECONOMIC DEVELOPMENT

**PLANNING BOARD
TUESDAY, FEBRUARY 17, 2026, 7:00 P.M.
COUNCIL CHAMBERS, 1ST FLOOR OF CITY HALL
73 HARLOW STREET**

MEETING MINUTES

Board Members Present:

Chair Jonathan Boucher
Vice Chair Janet Jonas
Ted Brush
Trish Hayes
Greg Hobson
Ken Huhn
Ross Whitford

City Staff Present:

Matt Altiero, Planning Analyst
Anja Collette, Planning Officer
Grace Innis, Assistant Solicitor

Chair Boucher called the meeting to order at 7:00 P.M.

OLD BUSINESS

1. Adoption of Notices of Decision for Map-Lot R10-010-A&B – Odlin Road and 57 Bangor Mall Boulevard

Member Brush moved that the Board adopt the Notices of Decision for Map-Lot R10-010-A&B – Odlin Road and 57 Bangor Mall Boulevard. Seconded by Member Huhn. Roll call vote conducted – all voting members in favor, none opposed. Motion passed.

2. Meeting Minutes – February 3, 2026

Member Huhn moved to approve the minutes of February 3, 2026, seconded by Member Hobson. All voting members in favor, none opposed. Motion passed.

NEW BUSINESS

PUBLIC HEARING - LAND DEVELOPMENT CODE AMENDMENTS

- 3. Zone Change – Ohio Street – Map-Lot R23-003-B – Rural Residence and Agricultural District (RR&A) to Government and Institutional Service District (G&ISD)** – To amend the Land Development Code by changing a parcel of land, located on Ohio Street, Map-Lot R23-003-B, from Rural Residence and Agriculture (RR&A) to Government and Institutional Service District (G&ISD). Said area of land contains approximately 6 acres total and is more particularly indicated on the map attached hereto and made part hereof. Applicant/Owner: The Rock Church.

Chair Boucher introduced the agenda item.

Applicant Representative Randy Bragg, Carpenter Associates, presented to the podium and provided an overview of the application.

Chair Boucher asked staff for any comments – there were none.

Chair Boucher asked the Board for any questions or comments – there were none.

Chair Boucher opened the public comments – there were none. Public comments closed.

Member Brush moved that the Board recommend to City Council that the proposal to amend the Land Development Code by changing a parcel of land, located on Ohio Street at Map-Lot R23-003-B, from Rural Residence & Agricultural District (RR&A) to Government & Institutional Service District (G&ISD) ought to pass. Seconded by Vice Chair Jonas. Roll call vote conducted – all in favor, none opposed. Motion passed.

- 4. To Amend the Land Development Code, Section 165-73 Parking Area Location and Screening to Remove the Buffer Requirement for Parking Lots Adjacent to Properties Zoned G&ISD, Except Where the Adjacent Property Contains a Residential, Cemetery, or School Use.**

Chair Boucher introduced the agenda item.

Planning Officer Anja Collette presented to the Board and provided an overview of the proposal.

Chair Boucher asked the Board for any questions or comments – there were none.

Chair Boucher opened the public comments – there were none. Public comments closed.

Vice Chair Jonas moved that the Board recommend to City Council that the proposal to amend the Land Development Code, Section 165-73 Parking Area Location and Screening, by removing the buffer requirement for parking lots adjacent to properties zoned G&ISD, except where the adjacent property contains a residential, cemetery, or school use, ought to pass. Seconded by Member Hayes. Roll call vote conducted – all in favor, none opposed. Motion passed.

5. To Amend the Land Development Code, Section 165-13 Definitions to remove State Street from the Minor Arterial Street Definition.

Chair Boucher introduced the agenda item.

Planning Officer Anja Collette presented to the Board and provided an overview of the proposal.

Chair Boucher asked the Board for any questions or comments – there were none.

Chair Boucher opened the public comments – there were none. Public comments closed.

Member Huhn moved that the Board recommend to City Council that the proposal to amend the Land Development Code, Section 165-13 Definitions, by removing State Street from the Minor Arterial Street definition, ought to pass. Seconded by Member Hobson. Roll call vote conducted – all in favor, none opposed. Motion passed.

OTHER BUSINESS

6. Draft Changes to Comply with New State Laws

Planning Officer Anja Collette presented to the Board and provided an overview of the first round of draft ordinance changes:

A. ADUs (Accessory Dwelling Units)

- i. ADUs now allowed on lots with 1 to 3 dwelling units.
- ii. The minimum square footage has been reduced from 190 to 160 square feet.

B. Additional height allowance and reduced parking requirements for affordable housing

- i. If a development meets the definition of an affordable housing development and is located in an area that allows the density bonus, the maximum height is increased by 14 feet and the minimum parking requirement must be no greater than 2 spaces for every 3 units. The Affordable Housing Density Bonus is allowed in URD-2, M&SD, NSD, USD, HDR, S&PS, and GC&S.

C. Units per lot minimum and minimum lot size in the urban zones

- i. URD-1 (Urban Residence 1 District)
 - a. If a lot is located inside the Growth Boundary and is served by public, special district or other centrally managed water system and sewer system, minimum lot size is 5,000sqft for 4 units, including ADUs. (No more than 4 units allowed)

F. Off-site Parking Agreements

- i. Changing our provision to allow a developer to satisfy parking requirements with a legally binding agreement between the developer and the owner of an off-site parking facility within 0.25 miles of the development site.

Member Huhn asked for clarification regarding dimensional requirements, impervious surface ratio, lot coverage, etc. – Planning Officer Collette responded and clarified.

Chair Boucher asked about the long-term affordability covenant – Planning Officer Collette responded and clarified.

Chair Boucher asked about the new requirements for what developments will and will not come before the Planning Board – Planning Officer Collette responded and clarified.

Planning Officer Collette discussed a proposal regarding creation of a smaller lot size allowance for individual tiny homes with Board members. Board members were amenable to making this change.

Member Brush asked about mixed-use allowances – Planning Officer Collette responded and clarified the allowances for mixed commercial & residential uses.

Chair Boucher asked about public notice requirements for minor site plan revisions – Planning Officer Collette responded that there is none. Collette and Boucher discussed at length.

7. 2026 APA Trend Report

Planning Officer Anja Collette noted that the report was provided in the Board’s meeting packet for their review.

8. Follow-Up/Thoughts on Land Use Plan Updates

Member Huhn asked for some additional clarification regarding parking buffer requirements – Planning Officer Collette responded and clarified.

Meeting adjourned at 7:35 pm.

Respectfully submitted,

Sarah Maquillan,
Development Assistant
Planning Division



CITY OF BANGOR
PLANNING DIVISION

APPLICATION FOR ZONING AND MAP AMENDMENT

Paid 2210.00
via check #1003
on Feb. 10, 2026

Date: Feb. 10, 2026

Date of Required Pre-Application Meeting with Staff: Jan. 14, 2026
(please call (207) 992-4280 to set up an appointment if you have not had a pre-application meeting with staff)

To: The Planning Board & The City Council of the City of Bangor, Maine

1. Applicant Name: [REDACTED]

2. Applicant Address: [REDACTED] [REDACTED]
Address City, State, Zip Code

Telephone Number

Email Address

3. PROPERTY ADDRESS and Map & Lot 26 Walter Street | 025 | 143
Address Map Lot

Total Area: 47916 Sq ft (lot)

4. GENERAL PROPERTY LOCATION (Example: South side of State Street 400 yards. East of Pine Street):

5. LEGAL DESCRIPTION OF PROPERTY - Book _____ Page _____

6. EXISTING ZONING DISTRICT: US1

7. PROPOSED ZONING DISTRICT: URD-2

8. NAME AND ADDRESS OF OWNER OF RECORD: _____
Name (if different than applicant)

Address

Telephone Number

Email Address

9. NAME AND ADDRESS OF CONTRACT OWNER [REDACTED] [REDACTED]
Name

n/a

Telephone Number

Email Address

10. SIGNATURE OF Applicant: [Signature]

11. REPRESENTATIVE OF APPLICANT: [REDACTED] [REDACTED]
Name

Address

12. IS THIS A CONTRACT ZONING CHANGE? IF SO, ATTACH ANY CONDITIONS PROPOSED FOR A CONTRACT ZONE REQUEST.

not a contract zone

13. ATTACH DOCUMENT SUPPORTING ZONING CHANGE AND RELATION TO CITY COMP PLAN.

RETURN FORM & EXHIBIT TO PLANNING DIVISION, CITY HALL, BANGOR, ME.

(PLEASE READ OTHER SIDE FOR FEES AND PROCESSING PROCEDURE)



CITY COUNCIL ACTION

Council Meeting Date: February 23, 2026

Item No:

Responsible Dept: Planning

Action Requested: Ordinance

Map/Lot: 025-143

Title, Ordinance

Amending Chapter 165, Land Development Code, District Map to Re-Zone a Property Located at 26 Walter Street from Urban Service District (USD) to Urban Residence 2 District (URD-2).

Summary

This ordinance would amend the Land Development Code, District Map to re-zone the property at Map-Lot 025-143, located on 26 Walter Street, from Urban Service District (USD) to Urban Residence 2 District (URD-2). The total area requested to be changed is approximately 0.11 acres. The applicant and owner of record is NAHA, LLC.

This area is within the growth boundary shown in the 2022 Comprehensive Plan and the future land use map in the Plan shows this property in the Urban Neighborhood area which consists of "medium to high-density residential neighborhoods surrounding the Downtown and encompassing most of the City's historic residential areas [with] limited commercial and institutional uses that are complementary to the surrounding residential uses".

Committee Action

Committee: Planning Board

Meeting Date: March 3, 2026

Action:

For:

Against:

Staff Comments & Approvals

City Manager

City Solicitor

Finance Director

Introduced for: First Reading and Referral



CITY COUNCIL ORDINANCE

Date: February 23, 2026

Assigned to Councilor:

ORDINANCE, Amending Chapter 165, Land Development Code, District Map to Re-Zone a Property Located at 26 Walter Street from Urban Service District (USD) to Urban Residence 2 District (URD-2).

WHEREAS, the land uses around the property consist primarily of a mix of residential and commercial;

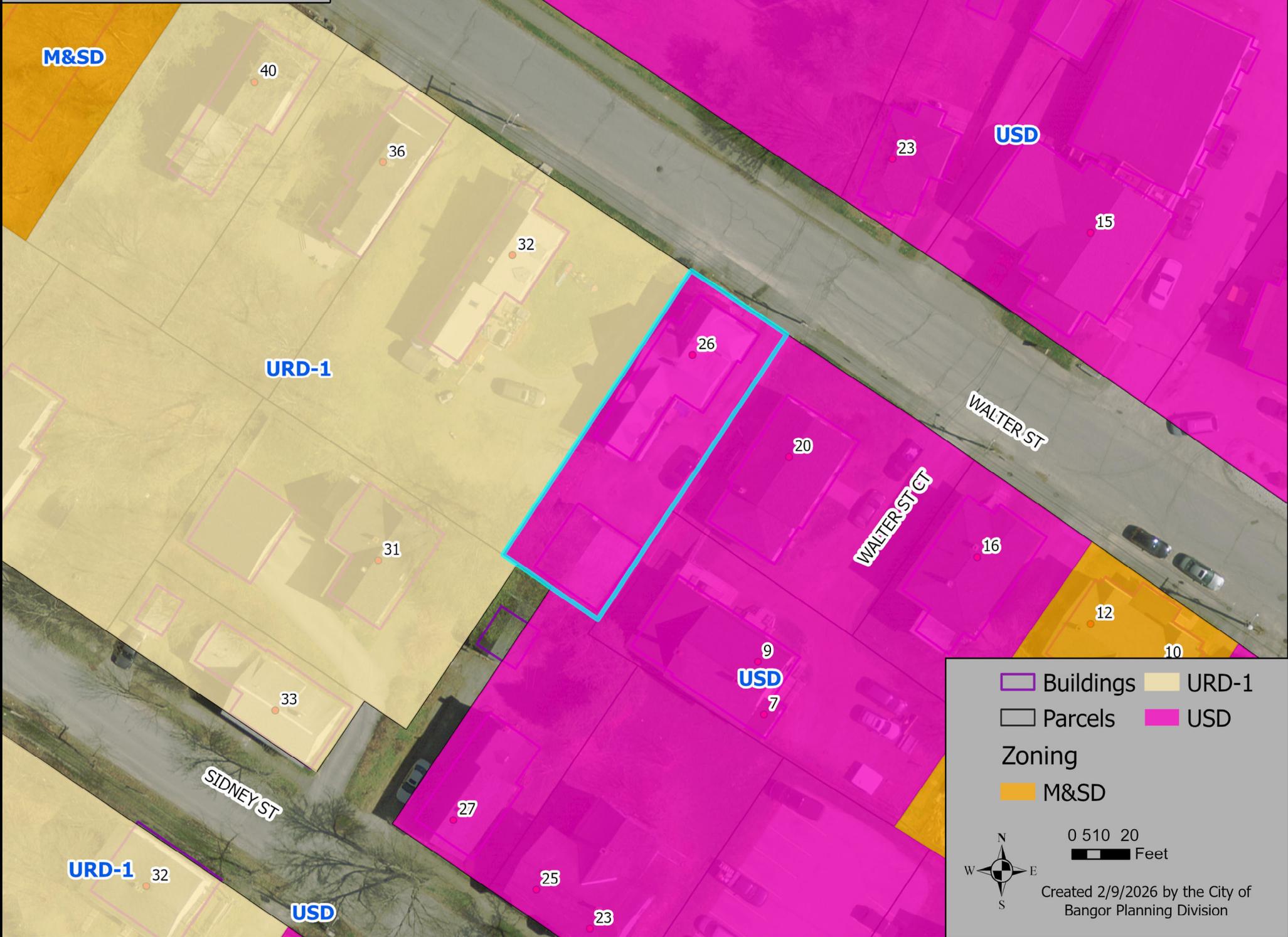
WHEREAS, the zoning around the property consists primarily of Urban Service District (USD), Urban Residence 1 District (URD-1), and Multifamily and Service District (M&SD);

WHEREAS, the 2022 Comprehensive Plan and the future land use map in the Plan shows this property in the Urban Neighborhood area which consists of "medium to high-density residential neighborhoods surrounding the Downtown and encompassing most of the City's historic residential areas [with] limited commercial and institutional uses that are complementary to the surrounding residential uses.";

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BANGOR AS FOLLOWS, THAT

Chapter 165 of the Code of the City of Bangor, District Map, is amended to reclassify the property at Map-Lot 025-143, located at 26 Walter Street, from Urban Service District (USD) to Urban Residence 2 District (URD-2). The total area requested to be changed is approximately 0.11 acres and is shown in the attached exhibit.

Area Map: 26 Walter St



NOTES

RECEIPT

DATE 12/30/25 NO. **019025**

RECEIVED FROM [REDACTED]

ADDRESS [REDACTED]

[REDACTED] \$ 2210.00

FOR 26 Walter Street zone change app.

Received
on
Feb. 10,
2026
- 1935.00
for ads
- 275.00
for app

ACCOUNT		HOW PAID	
AMT. OF ACCOUNT		CASH	
AMT. PAID		CHECK <u>1003</u>	<input checked="" type="checkbox"/>
BALANCE DUE		MONEY ORDER	

BY SM

26 WALTER STREET -- ABUTTERS WITHIN 100FT			
Owner	Owner 2	Owner Address 1	Owner Address 2
LRG Holdings, LLC		PO Box 1541	Bangor, Maine 04402-1541
David W. Foster	Christine Mary Foster	36 Walter Street	Bangor, Maine 04401
Jodi L. MacGregor	Theresa M. Amirault	1477 Union Street	Bangor, Maine 04401
Elaine White		45 Sidney Street	Bangor, Maine 04401
Judith Ann Brosmer		33 Sidney Street	Bangor, Maine 04401
Frank Dinsmore	Janie Dinsmore	363 Fern Street	Bangor, Maine 04401
417, LLC		213 Webster Avenue	Bangor, Maine 04401
Debra L. Bragg		7 Walter Court	Bangor, Maine 04401
5325 Baltimore Avenue, LLC		222 West Rittenhouse Square	Philadelphia, PA 19103
Full Sail Properties LLC		PO Box 206	Ellsworth, Maine 04605-0206
Patricia F. Snow		27 Sidney Street	Bangor, Maine 04401
Penobscot Development Ltd. Liab. Co.	c/o Boulos Asset Management	100 Middle Street, Suite 230, East Tower	Portland, Maine 04101



CITY OF BANGOR
Planning Division

COMMUNITY & ECONOMIC DEVELOPMENT

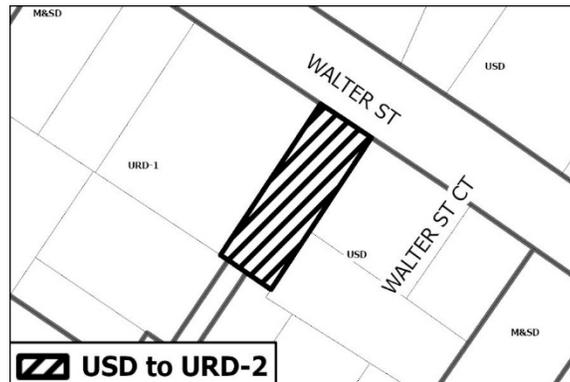
PUBLIC NOTICE

Date: March 3, 2026

Dear Property Owner:

Please be advised that the Planning Board of the City of Bangor will hold a public hearing on Tuesday, March 3, 2026, beginning at 7:00 p.m. in the Council Chambers on the 1st floor of City Hall (73 Harlow Street) and will consider the following application:

To amend the Land Development Code by changing a parcel of land, located at 26 Walter Street, Map-Lot 025-143, from Urban Service District (USD) to Urban Residence 2 District (URD-2). Said area of land contains approximately 0.11 acres total and is more particularly indicated on the map attached hereto and made part hereof. Applicant/Owner: NAHA LLC.



A copy of the application can be emailed or mailed to any interested party by emailing a request to planning@bangormaine.gov or calling the office at 207.992.4257. Copies of the application can also be picked up at City Hall's office at 73 Harlow Street. To submit comments in writing, please email comments to planning@bangormaine.gov or mail to 73 Harlow Street before 4 PM, March 2nd, 2026. Interested parties can also make an appointment by email or phone to meet with Planning Division staff in person or on Zoom.

The public is welcome to attend the meeting in person or via Zoom. Public comments are allowed over Zoom; however, you must register before 9 AM, March 3rd at <https://bangormaine.gov/504/Meeting-Participation>. Zoom details can be found at the city's website under www.bangormaine.gov/calendar. The Planning Board meeting may be streamed live via the City of Bangor's YouTube page; however, comments are not enabled during streaming. Please call our office if you have questions about the process or participation in the hearing process.

Anja Collette
Planning Officer
City of Bangor



Bangor is rewriting its Land Development Code! For more details and to sign up for updates, visit www.blueprintbangor.com

ZONE CHANGE PROCESS

1. Applicant files zone change request in the Planning Office.
2. The Planning Office places this ordinance amendment request on the next regularly scheduled meeting of the City Council.
3. The City Council refers the proposed zone change to the Planning Board for public hearing.
4. The Planning Board conducts a public hearing.
5. The Planning Board then makes its recommendations to the City Council.
6. After receipt of the Planning Board's recommendation, the City Council votes to either approve or reject the proposed zone change request.

Only the City Council can change zoning, as it is an ordinance amendment.

ABOUT THIS PROPOSED CHANGE

CURRENT PROPERTY ZONE: Urban Service District (USD) - § 165-92

- **Allowed Uses**
 - Any business office or professional office.
 - Motel, hotel or inn.
 - Schools conducted for profit, such as trade, business, dance and music schools.
 - Museum.
 - Day-care center (small or large).
 - Community service organizations.
 - Club or lodge, private.
 - Enclosed recreation centers conducted for profit.
 - Restaurants.
 - Places of worship.
 - Any other retail or service business (except those provided for in Subsection [D](#) below) conducted within a building with no goods or materials displayed or stored outside, except goods or materials displayed for retail sale with an outdoor display area limited to 1% of the gross floor area of the building.
 - Clinic, medical or dental.
 - Bar, tavern or lounge, provided that:
 - Such use must have established hours of operation which specifically define the time during which said use may be allowed to operate. Such hours will be a condition of

approval under this section. In no event shall such hours of operation begin before 7:00 a.m. or end after 1:30 a.m.

- Such use must establish a maximum occupancy which will specifically limit the number of persons allowed within the building at any one time, and such occupancy limit will be a condition to any approval under this section.
- A noise limit will be established such that the maximum of 65 dBA will not be exceeded in any abutting structure, on abutting property or within the public right-of-way or any public area.
- The applicant must demonstrate that sufficient parking of one parking space for each four persons of established maximum occupancy is available during the hours of operation to serve the establishment's patrons. Such parking spaces must:
 - Be located within 500 feet of the building housing the use; and
 - Be under the control of the operator or owner of the establishment (as evidenced in a binding written agreement between the operator and the owner or their agent of the parking premises) and/or must be public parking which is available during the hours of operation as determined by the City of Bangor City Engineer.
- Marijuana store, provided that:
 - The building in which the facility is located must be at least 1,000 feet from, or on the other side of a controlled-access highway from, the real property comprising any public or private elementary or secondary school or school dormitory, juvenile shelter, orphanage, public playground, or public park as defined in § [231-2](#) of this Code.
 - The building in which the facility is located must be at least 300 feet from, or on the other side of a controlled-access highway from, any church, chapel, parish house, other place of worship, day care, or dwelling on a residential parcel, measured by a straight line from building to building.
 - No marijuana cultivation facility, marijuana manufacturing facility, or marijuana testing facility may be accessory to a marijuana store.
 - No drive-in windows are allowed. No curbside or other pickup of marijuana by persons outside the store is allowed.
 - Signage designed to appeal to persons under 21 years of age is prohibited.
- Minor essential service facilities, under the conditions required by § [165-80.3](#).
- Conditional Uses
 - Gasoline service stations, provided that:
 - No gasoline pump shall be located within 100 feet of any existing residential building.
 - Adequate queuing space for at least two vehicles for each gas-dispensing nozzle, without restricting automobile access to and egress from the site, shall be provided.
 - Retail auto service, provided that:
 - Adequate provision is made for automobile queuing at any service bays or service doors which will not restrict vehicular movement onto or off from the site.
 - Additional provision is made for parking of vehicles left for any accessory installations.
 - Drive-in business, except a drive-in movie theater, provided that:

- Adequate queuing space shall be provided for vehicles without restricting vehicular movements on the site at access points to any service road or street, including at least five spaces for each service window or station at a drive-in bank or drive-in restaurant.
 - Additional parking area is provided for vehicles where any product is to be consumed on the premises or where service to vehicles away from drive-up windows or stations is contemplated or possible.
- Animal clinics, provided that:
 - Such activity is conducted in a completely enclosed building.
 - Such building is located not less than 100 feet from any residential district boundary line.
- A mixed residential and commercial use, provided that:
 - The commercial activity is a use permitted in Subsection [C](#) above.
 - In addition to the basic development standards required for the commercial use in this district in Article [XIX](#), additional lot area will be provided commensurate to the requirements for residential units in the URD-2 District.
 - Additional off-street parking will be provided for the residential units in accordance with the off-street parking requirements in Article [X](#).
 - The impervious surface limit for residential uses in the URD-2 District will be met.
- Any retail or service business conducted within a building which, by virtue of the nature of the business or service, shall require an outdoor display area in excess of 1% of the gross floor area of the building, provided that:
 - Goods or materials are not permanently stored outdoors.
 - Such outdoor display is clearly incidental to and subordinate to the activity conducted within the building.
 - Such exterior display area shall not exceed 20% of the gross floor area of the building.
- Major essential service facilities, provided that:
 - Such facilities are not sited so as to create an extreme juxtaposition of architectural scale or style to the detriment of existing buildings on adjacent lots.
 - Such uses must be certified as absolutely necessary in the particular location to service the area and the community.

PROPOSED PROPERTY ZONE: Urban Residence 2 District (URD-2) - § 165-89

• **Allowed Uses**

- One-family, two-family, three-family and four-family detached dwellings.
 - An affordable housing density bonus may be allowed, subject to the requirements of Article XXI.
- Small day-care center.
- Home occupations or professions (subject to the requirements of Article IV).
- Community living arrangements, in accordance with 30-A M.R.S.A. § 4357-A, as may be amended.
- Minor essential service facilities, under the conditions required by § 65-80.3.
- Hosted and non-hosted short-term rentals (subject to licensing requirements in Chapter 254).
- Accessory uses on the same lot and customarily incidental to and subordinate to the above uses or to an approved conditional use under Subsection D below.

- Conditional Uses

- Places of worship and nursing homes meeting the requirements of § 165-9 and Article XIX and located on a major arterial street.
- Boardinghouses that are located on a major arterial street.



COMMUNITY & ECONOMIC DEVELOPMENT

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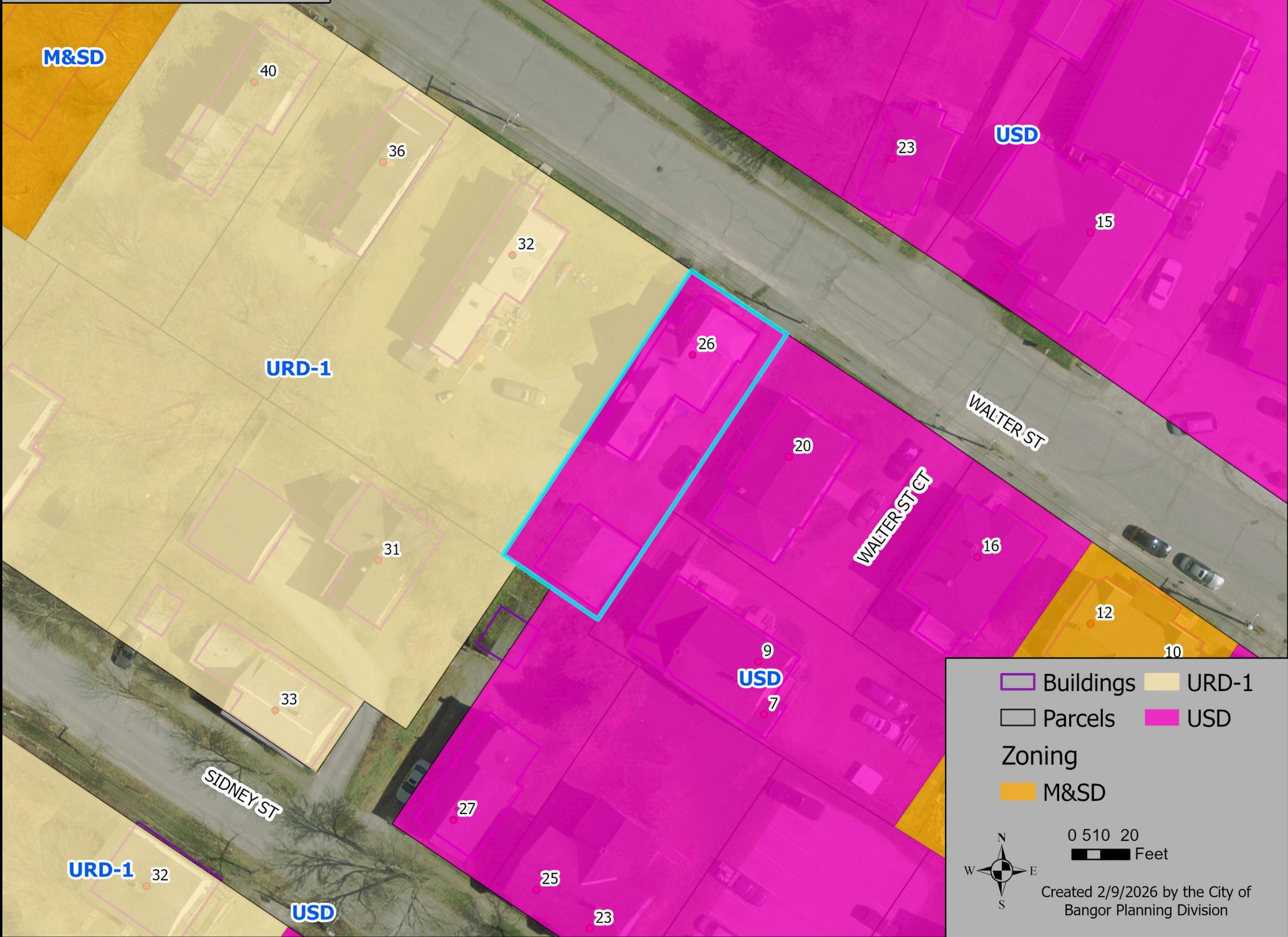
	Maximum District Height (Feet)	Minimum Lot Area (Square Feet)	Maximum Lot Coverage	Minimum Lot Width (Feet)	Minimum Front Yard Depth (Feet)	Minimum Side Yard Depth (Feet)	Minimum Rear Yard Depth (Feet)	Maximum Impervious Surface Ratio	Minimum Water Setback (Feet)	Maximum Floor Area Ratio
Urban Service District	35	10,000	40%	80	10	10	10*	None	--	--

* 20ft rear yard setback for properties abutting residential districts

	Maximum District Height (Feet)	Minimum Lot Area (Square Feet)	Maximum Lot Coverage	Minimum Lot Width (Feet)	Minimum Front Yard Depth (Feet)	Minimum Side Yard Depth (Feet)	Minimum Rear Yard Depth (Feet)	Maximum Impervious Surface Ratio	Minimum Water Setback (Feet)	Maximum Floor Area Ratio
Urban Residence 2 District	40	5,000sqft for each dwelling unit up to 4 on an empty lot, up to 2 (additional) if one dwelling unit exists	40%	50	10*	5	15; 5 for accessory structure	0.8	--	--

* Minimum setback for open porches from the front property line is 10ft

Area Map: 26 Walter St





COMMUNITY & ECONOMIC DEVELOPMENT

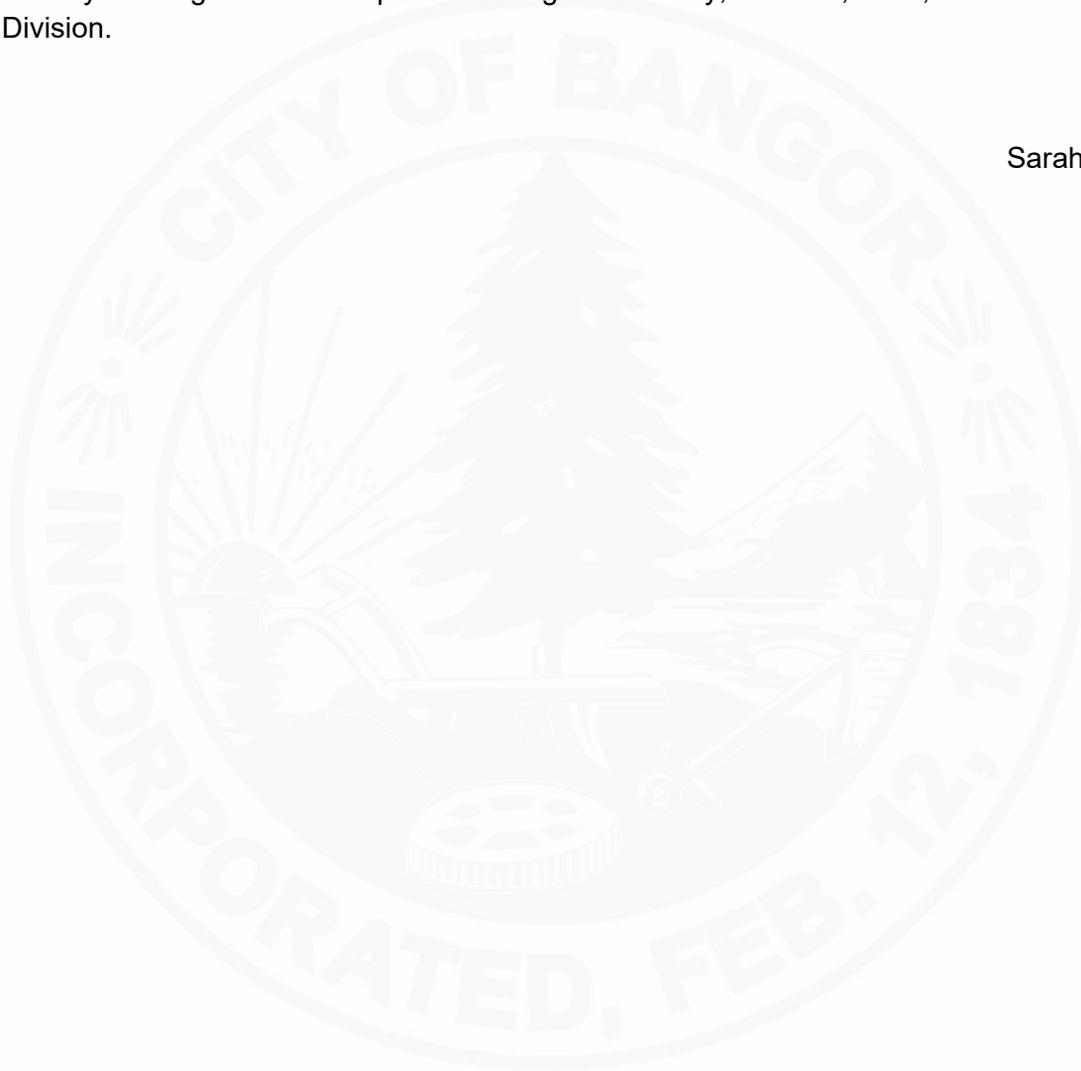
CITY OF BANGOR

PLANNING DIVISION

Re: ZC – 26 Walter Street – NAHA LLC – Notice of Mailing

On February 18, 2026, the Public Notice for 26 Walter Street – NAHA LLC, advising that the Planning Board of the City of Bangor will hold a public hearing on Tuesday, March 3, 2026, was mailed by the Planning Division.

Sarah Maquillan

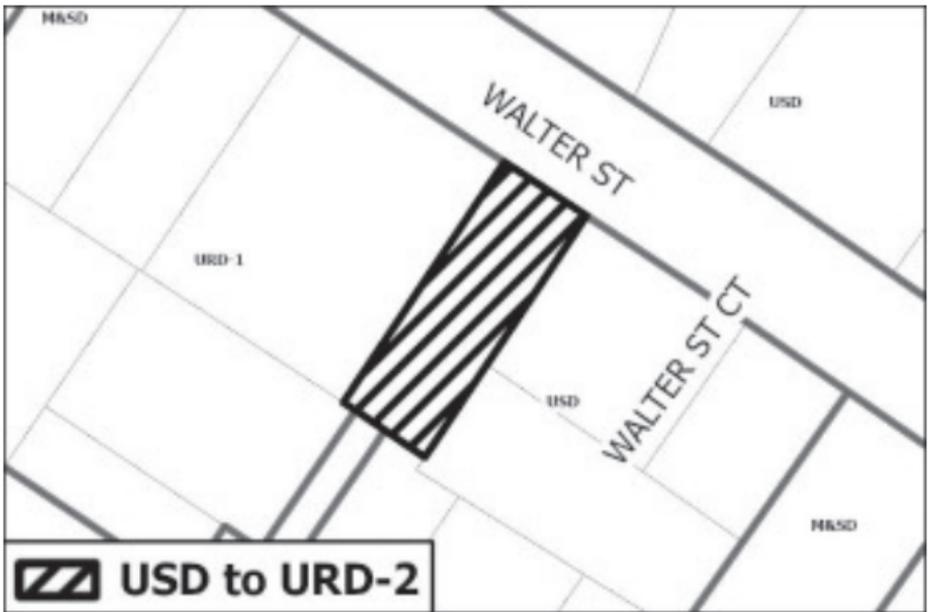




CITY OF BANGOR

Please be advised that the Planning Board of the City of Bangor will hold a public hearing on Tuesday, March 3, 2026, beginning at 7 p.m. in the Council Chambers on the 1st floor of City Hall (73 Harlow Street) and will consider the following application:

To amend the Land Development Code by changing a parcel of land, located at 26 Walter Street, Map-Lot 025-143, from Urban Service District (USD) to Urban Residence 2 District (URD-2). Said area of land contains approximately 0.11 acres total and is more particularly indicated on the map attached hereto and made part hereof. Applicant/Owner: NAHA LLC.



To receive a copy of the application or submit comments, please call 207.992.4257 or email: planning@bangormaine.gov. Please submit any comments by 4 p.m. on March 2, 2026. Interested parties can also make an appointment by email or phone to meet with Planning Division staff. The public is welcome to attend the meeting in person or via Zoom. Public comments are allowed over Zoom; however, you must register before 9 a.m., March 3rd at:

<https://bangormaine.gov/504/Meeting-Participation>.

Zoom details can be found at the city's website under:

www.bangormaine.gov/calendar.

The meeting may also be streamed live via the [City of Bangor's YouTube page](#); however, comments are not enabled on this page. Please call our office if you have questions about the process or participation in the hearing process.

Anja Collette
Planning Officer



COMMUNITY & ECONOMIC DEVELOPMENT

CITY OF BANGOR

PLANNING DIVISION

March 17, 2026

Bangor Planning Board

Findings and Decision

Applicant/Owner:

Bangor Retail Management LLC
[REDACTED]

Agent:

Stonefield Engineering & Design
[REDACTED]

Property Address:

570 Stillwater Avenue, Map-Lot R62-001

Zoning District:

Shopping & Personal Service District (S&PS), Penjajawoc
Marsh Overlay Zone

Permit Request:

Land Development Permit for Major Site Development

Description:

Proposal for demolition of front building and expansion of
parking lot

Public Hearing Date:

March 3, 2026

Permitting Requirements:

§165.111.A.(3)(5)

Board Members Present:

[REDACTED]

Board Vote:

Motion carried [REDACTED] to **approve/deny** the Land Development
Permit.

I. The Record

The Planning Board reviewed the following exhibits:

1. Land Development Permit application, submitted by Stonefield Engineering on
07.23.2025

2. Final site plan set, submitted by Stonefield Engineering on 02.25.2026
3. Proof of payment received by Planning staff on 07.29.2025
4. Cover letter, submitted by Stonefield Engineering on 12.12.2025
5. Financial capacity letter, submitted by Stonefield Engineering on 12.12.2025
6. Land title survey, submitted by Stonefield Engineering on 07.23.2025
7. MDEP Minor Revision application, submitted by Stonefield Engineering on 07.23.2025
8. SLODA Narrative, submitted by Stonefield Engineering on 10.21.2025
9. Stormwater management statement, submitted by Stonefield Engineering on 10.21.2025
10. MDEP Stormwater Permit application, submitted by Stonefield Engineering on 12.12.2025
11. Stormwater operations & maintenance manual, submitted by Stonefield Engineering on 12.12.2025
12. Drainage area maps, submitted by Stonefield Engineering on 02.09.2026
13. Treated area exhibit, submitted by Stonefield Engineering on 02.09.2026
14. Land Development Permit checklist, sent to Stonefield Engineering via email on 07.29.2025
15. Planning comments, received via email on 10.24.2025
16. Engineering comments, received via email on 11.06.2025
17. Exhibit attachment to Engineering comments, received via email on 11.06.2025
18. Bangor Water District comments, received via email on 11.06.2025
19. Email regarding MDOT permitting, received on 12.05.2025
20. Email regarding the E-Buffer from Code, received via email on 12.26.2025
21. Bangor Water District comments, received via email on 02.11.2026
22. Fire Prevention sign-off, received via email on 02.12.2026
23. Engineering sign-off, received via email on 02.12.2026
24. Bangor Water District comments, received via email on 02.20.2026
25. Comment on planting plan, received via email on 02.20.2026
26. Email with DEP on meeting, received via email on 02.10.2026
27. Bangor Water District comments and approval, received via email on 02.25.2026
28. List of abutters within 100ft of the subject property, generated by staff on 02.20.2026
29. Public notice sent to abutters within 100ft of the subject property on 02.20.2026
30. Notice of mailing by Planning Assistant Sarah Maquillan on 02.20.2026

II. Project Description and Permit Requirements

The Project will consist of the demolition of the front building at 570 Stillwater Avenue and replacement with an expanded parking lot. The project will take place on Map-Lot R62-001, which is in the Shopping & Personal Service District (S&PS).

As an expansion of a parking lot containing 20 or more spaces and a use in the Shopping & Personal Service District (S&PS) this project requires Land Development Permit approval. The parking lot is considered an accessory use to permitted uses on the site, which is allowed under §165-101C(22). As a use in the Shopping & Personal Service District, per §165-101B, this project must also meet the requirements of Article II through XII and any applicable development standards of Article XIX of Chapter 165. As a project

in the Penjajawoc Marsh Overlay Zone, it must also meet any applicable requirements of that zone.

III. Procedural Background

1. The Application was deemed complete on March 3, 2026.
2. The Applicant paid all applicable fees (Exhibit 3).
3. The proposed Project is a Major Site Development.

IV. Applicable Provisions and Findings

Part 1 – The Project meets the requirements of Articles II through XII

1. The Board finds that, based on Exhibit 2, the applicant satisfied §165-33.1 of the Land Development Code regarding best management practices of Erosion and Sediment Control.
2. The Board finds that, based on Exhibit 2, the applicant satisfied §165-68 of the Land Development Code regarding minimum lot frontage.
3. The Board finds that, based on Exhibit 2, the applicant satisfied §165-72 of the Land Development Code regarding the required number of parking spaces, §165-73's requirements regarding parking area location and screening, and §165-74's requirements regarding parking area design, construction and maintenance.
4. The Board finds that, based on Exhibits 2, 22, 23, and 27, , the applicant satisfied §165-79 of the Land Development Code regarding providing the necessary utility services required, §165-80's requirements regarding providing adequate water and sewerage services, and 165-83's requirements regarding providing adequate electrical service.
5. The Board finds that, based on Exhibit 2, the applicant satisfied §165-81 of the Land Development Code regarding providing adequate lighting and preventing light pollution and trespass.
6. The Board finds that, based on Exhibits 2 and 22, the applicant satisfied §165-82's requirements regarding having adequate fire protection.
7. The Board finds that, based on Exhibits 2, 4, 7, 9-13, 23, and 26, the applicant satisfied §165-84 of the Land Development Code regarding adequate storm drainage and stormwater offset.

Part 2 – The Project meets the District Site Development Standards under Article XIX

The Board finds that, based on Exhibit 2, the applicant satisfied § 165-135 of the Land Development Code regarding impervious surface ratio and buffer yards.

Part 3 – The Project meets the requirements of § 165-101 – Shopping & Personal Service District (S&PS)

The Board finds that, based on the findings made in Parts 1 and 2 of this document, the Project meets the requirements of § 165-101B for uses within the Shopping & Personal Service District (S&PS).

Part 4 – The Project meets the requirements of §165-114 – Land Development Approval Standards

1. The Board finds that, based on Exhibits 2 and 23, the applicant satisfied Land Development Code §165-114.B's requirement that the proposed parking and loading layout are arranged in a reasonable and safe configuration and §165-114C's requirement that all proposed access drives are reasonably necessary and safe.
2. The Board finds that, based on Exhibits 2, 4, 7, 9-13, 23, and 26, the applicant satisfied Land Development Code §165-114D's requirement that the proposed development will not have unreasonable adverse effects on abutting or downstream properties or protected resources such as wetlands, lakes, streams or brooks, and that all downstream channels or municipal stormwater collection systems have adequate capacity to carry the flow without significant negative effects, with the condition that the Maine Department of Environmental Protection Stormwater Permit amendment is approved..
3. The Board finds that, based on Exhibit 2, the applicant satisfied Land Development Code §165-114E's requirements that all outdoor lighting shall be designed, installed and maintained to avoid unreasonable adverse effects from light pollution.
4. The Board finds that, based on Exhibits 2 and 20, the applicant satisfied Land Development Code §165-114F's requirements for landscaping.

V. Decision

The Board finds that the project meets the requirements for a Land Development Permit for a Major Site Development and therefore, the Board grants the Land Development Permit for the proposed Project, with the condition that the Maine Department of Environmental Protection Stormwater Permit amendment is approved.

VI. General Permit Requirements:

- A. This permit does not relieve the applicant from any other state or federal permits that may be required for the project.
- B. Prior to construction, the applicant should contact the Code Enforcement Office and Engineering Office for any additional permits that may be required.
- C. Applicant must commence construction within one year from the date of approval and complete the project by March 3, 2028, unless extensions of time are granted per the provisions of Chapter 165-113E.
- D. No certificate of occupancy for any structure will be issued by the Code Enforcement Division until the property for which the certificate is sought is in compliance with all applicable regulations, including but not limited to building, zoning, and stormwater requirements. A temporary certificate of occupancy may be issued when necessary under the provisions of § [165-113G of the City's Land Development Code](#).
- E. Upon completion, a digital as-built plan or plans shall be submitted to the Code Enforcement Officer. Additionally, a certificate of compliance stamped by a registered professional engineer or a registered land surveyor must be submitted to the Code Enforcement Office indicating that the site development has been completed in accordance with the approved revised plan.

Failure to comply with the conditions listed above constitutes a violation of the Bangor Land Development Code as prescribed in Chapter 165-10G.

This If you should have any questions or desire further information, please do not hesitate to give the Planning Division a call at 207.992.4280.

Sincerely,

City of Bangor Planning Board

_____	_____
_____	_____
_____	_____
_____	_____

CC: City of Bangor Planning Division
City of Bangor Code Enforcement Division

Building Permit and Certificate of Occupancy Checklist

Before applying for a Building Permit:

- Please contact the Code Enforcement and Engineering Departments for any other permits that may be necessary.
- The stormwater permit amendment with the Maine Department of Environmental Protection must be approved.

Before applying for a Certificate of Occupancy:

- Digital as-built plan or plans shall be submitted to the Code Enforcement Officer. Additionally, a certificate of compliance stamped by a registered professional engineer or a registered land surveyor must be submitted to the Code Enforcement Office indicating that the site development has been completed in accordance with the approved revised plan.

Paid 1960.00
via checks #
2098, 2097, & 2096
on 7-29-2025
-SM

CITY OF BANGOR
LAND DEVELOPMENT PERMIT APPLICATION

Permit No.: _____
Date: _____

Site Development Plan: *Conditional Use: _____ *Both: _____
Subdivision Development: _____ *Preliminary: _____ Final:
*Mobilehome Park: _____

Applicant: Bangor Retail Management LLC Telephone No. [REDACTED]
Address: [REDACTED]

Location of Site: 570 Stillwater Avenue, Bangor, ME Map: R62 Lot: 001

Watershed: Penjajawoc Stream Watershed Total Area Proposed to be Disturbed: 0.38 AC

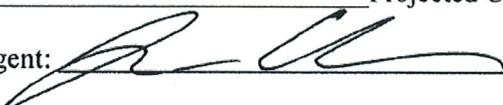
Owner of Site if different from applicant: Bangor Retail Management, LLC Zoning District: S&PS

Address: _____
Description of interest of applicant in site, if not owner (e.g., owner, lease, option, purchase & sales agreement):
Owner If not owner include copy of said agreement

Describe proposed use and indicate floor area (If combination of uses, give floor area devoted to each):
Proposed parking lot expansion, Floor Area: N/A

LID techniques help retain stormwater on site. They include such things as pervious pavement, rain gardens, bioretention cells, and infiltration systems.
Were LID techniques used on this project? No If not, why? Maintaining existing drainage patterns while reducing impervious surface

Projected Starting Date: _____ Projected Completion Date: _____

Signature of applicant(s) or agent: 

Submittal Requirements

Submittal Requirements of development types are described in the Land Development Code for:

- 1. Site Development Plan, Chapter 165, Article XVI, Section 112
- 2. Subdivisions, Chapter 165, Article XVIII, Sections 126 and 128
- 3. Mobilehome Parks, Chapter 165, Article XVIII, Section 19

Processing Fees: \$690 + 535 = 1225 Advertising Fees: \$735

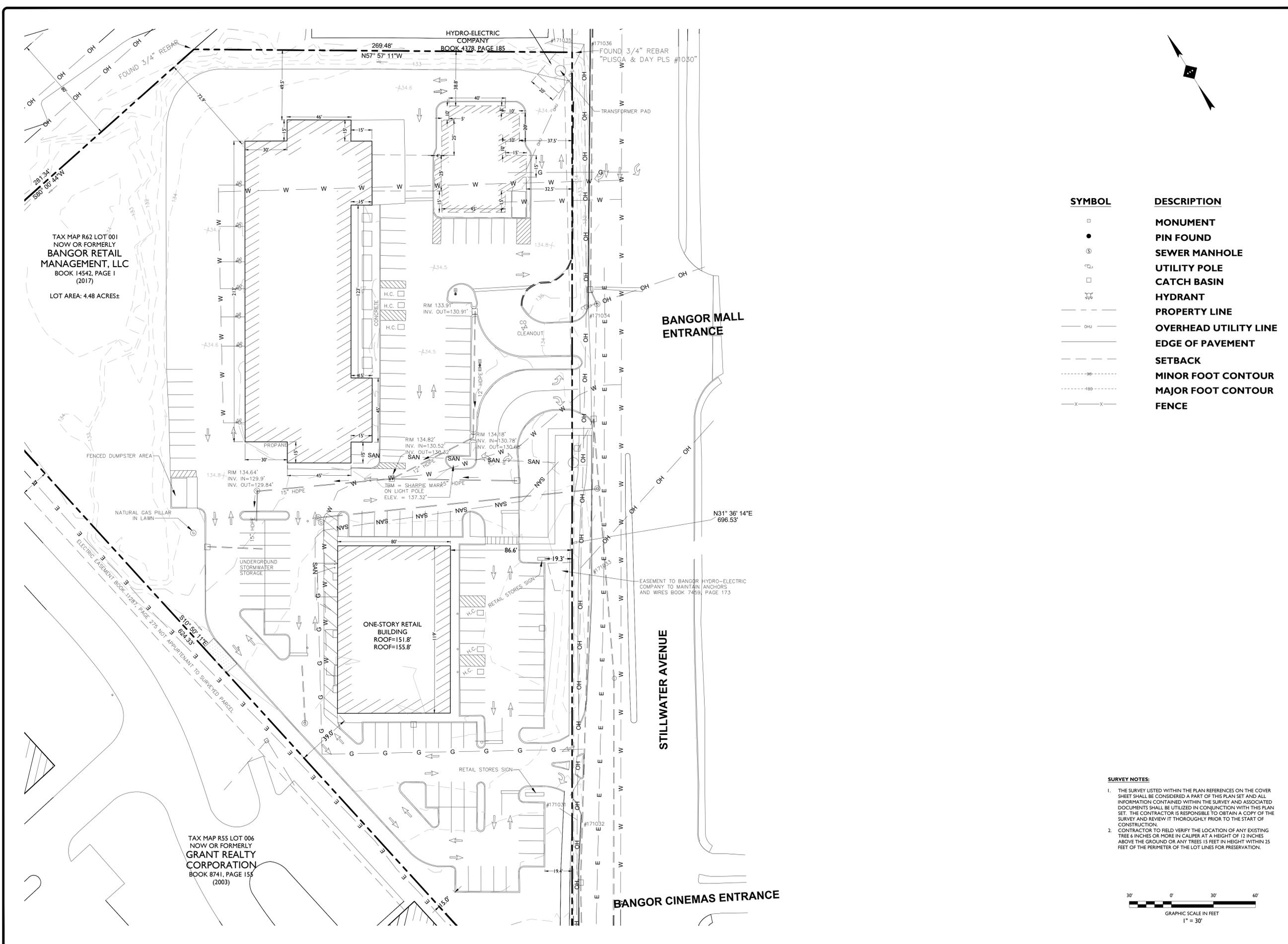
A COMPLETED APPLICATION FORM, PLAN SUBMITTALS, EVIDENCE OF STANDING, PROCESSING AND ADVERTISING FEES ARE ALL REQUIRED IN ORDER TO HAVE A COMPLETE APPLICATION.

Date Received by Planning Division Office: 7-23-2025

Decision and reason of Code Enforcement Office for Conditional Use: _____

Action taken by Planning Board: _____

* Projects requiring a Public Hearing also require Advertising Fees

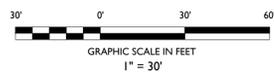


TAX MAP R62 LOT 001
NOW OR FORMERLY
**BANGOR RETAIL
MANAGEMENT, LLC**
BOOK 14542, PAGE 1
(2017)
LOT AREA: 4.48 ACRES±

TAX MAP R55 LOT 006
NOW OR FORMERLY
**GRANT REALTY
CORPORATION**
BOOK 8741, PAGE 155
(2003)

SYMBOL	DESCRIPTION
□	MONUMENT
●	PIN FOUND
⊙	SEWER MANHOLE
⊕	UTILITY POLE
⊗	CATCH BASIN
⊘	HYDRANT
---	PROPERTY LINE
---	OVERHEAD UTILITY LINE
---	EDGE OF PAVEMENT
---	SETBACK
---	MINOR FOOT CONTOUR
---	MAJOR FOOT CONTOUR
---	FENCE

- SURVEY NOTES:**
- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR TO FIELD VERIFY THE LOCATION OF ANY EXISTING TREE 6 INCHES OR MORE IN CALIPER AT A HEIGHT OF 12 INCHES ABOVE THE GROUND OR ANY TREES 15 FEET IN HEIGHT WITHIN 25 FEET OF THE PERIMETER OF THE LOT LINES FOR PRESERVATION.



ISSUE	DATE	BY	DESCRIPTION
05			
04	02/18/2024	AB	FOR MUNICIPAL RESUBMISSION
03	01/30/2024	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2023	GHC	FOR MUNICIPAL RESUBMISSION
01	10/06/2023	AB	FOR MUNICIPAL RESUBMISSION
00	07/18/2023	AB	FOR MUNICIPAL RESUBMISSION



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SITE PLAN SET
THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE



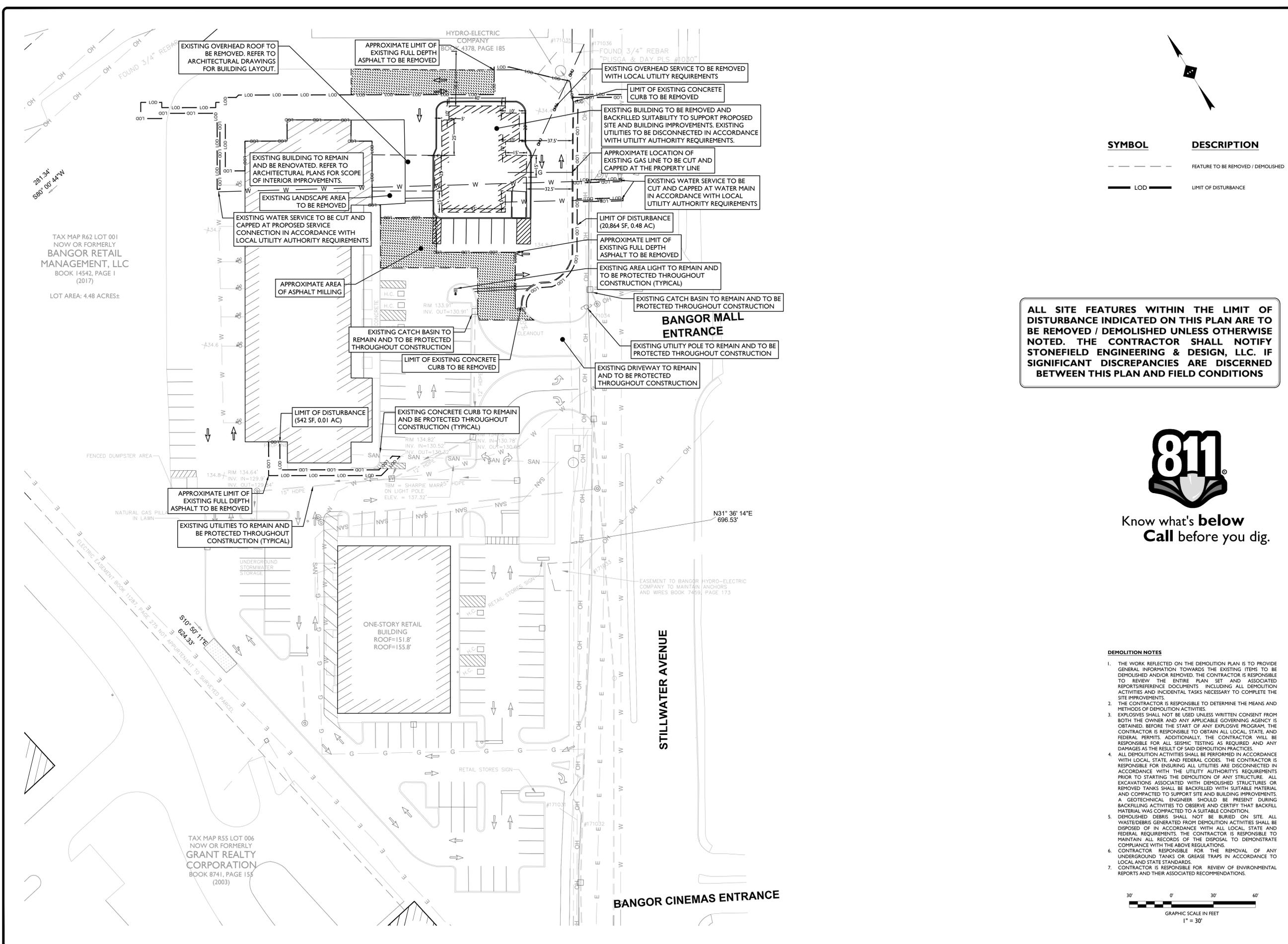
JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
**EXISTING CONDITIONS
PLAN**

DRAWING:
C-2



TAX MAP R62 LOT 001
 NOW OR FORMERLY
**BANGOR RETAIL
 MANAGEMENT, LLC**
 BOOK 14542, PAGE 1
 (2017)
 LOT AREA: 4.48 ACRES±

TAX MAP R55 LOT 006
 NOW OR FORMERLY
**GRANT REALTY
 CORPORATION**
 BOOK 8741, PAGE 155
 (2003)

SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE

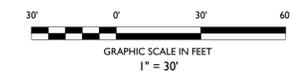
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
 Call before you dig.

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
6. CONTRACTOR RESPONSIBLE FOR THE REMOVAL OF ANY UNDERGROUND TANKS OR GREASE TRAPS IN ACCORDANCE TO LOCAL AND STATE STANDARDS.
7. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ENVIRONMENTAL REPORTS AND THEIR ASSOCIATED RECOMMENDATIONS.



ISSUE	DATE	BY	DESCRIPTION
05	02/24/2024	GHC	FOR MUNICIPAL RESUBMISSION
04	02/18/2024	AB	FOR MUNICIPAL RESUBMISSION
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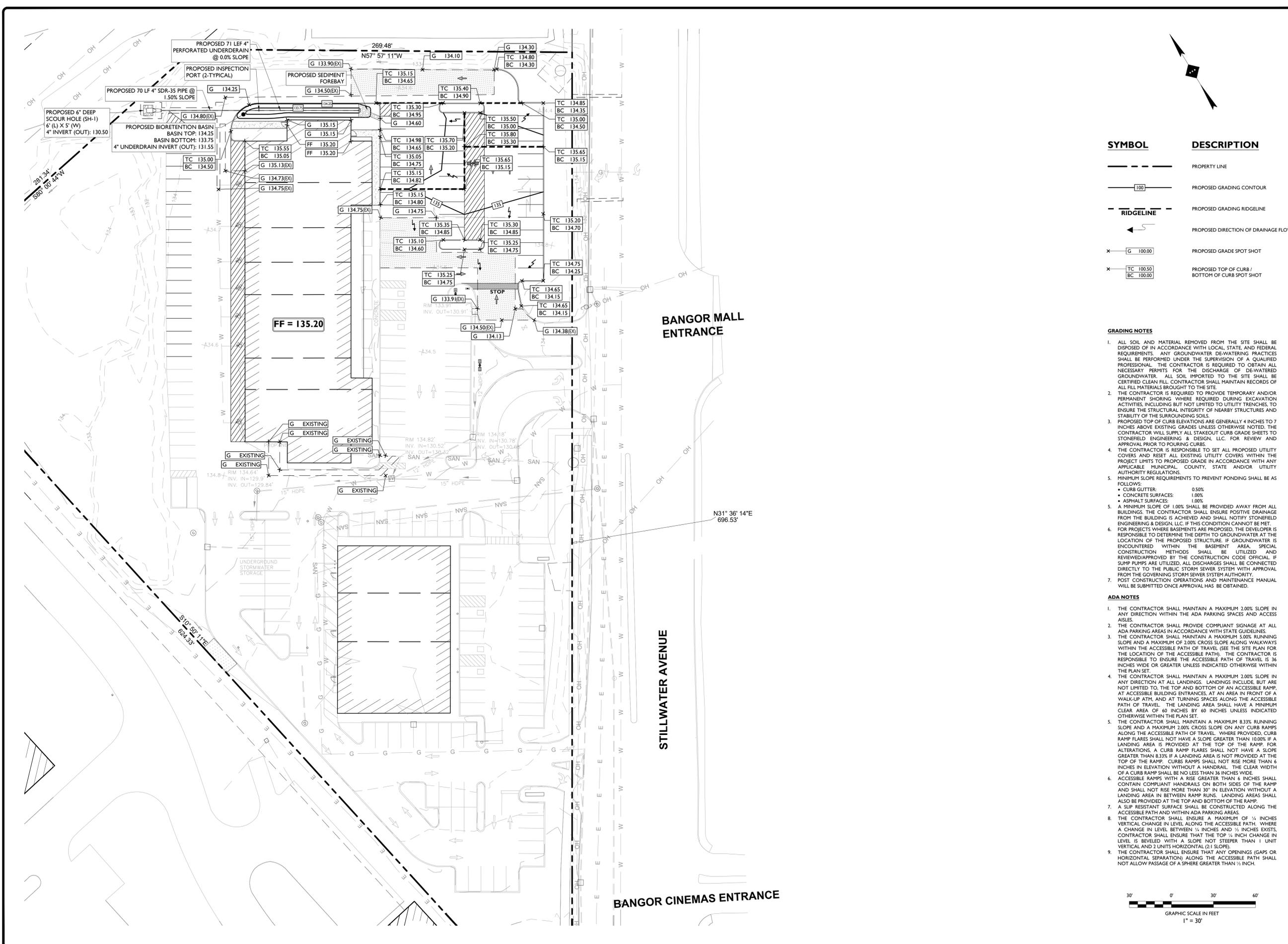
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SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
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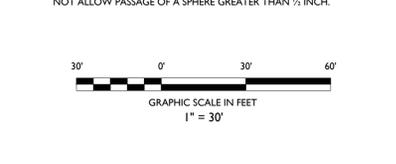
DRAWING:
C-3



SYMBOL	DESCRIPTION
---	PROPERTY LINE
—100—	PROPOSED GRADING CONTOUR
—RIDLIN—	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SLUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.
 - POST CONSTRUCTION OPERATIONS AND MAINTENANCE MANUAL WILL BE SUBMITTED ONCE APPROVAL HAS BEEN OBTAINED.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALKUP PATH, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/2 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.



FOR MUNICIPAL RESUBMISSION	DATE	BY	DESCRIPTION
FOR MUNICIPAL RESUBMISSION	02/24/2024	GHC	
FOR MUNICIPAL RESUBMISSION	02/18/2024	AB	
FOR MUNICIPAL RESUBMISSION	01/30/2024	AB	
FOR MUNICIPAL RESUBMISSION	12/01/2023	GHC	
FOR MUNICIPAL RESUBMISSION	10/06/2023	AB	
FOR MUNICIPAL RESUBMISSION	07/18/2023	AB	
	05		ISSUE

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SITE PLAN SET

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PROPOSED PARKING LOT
EXPANSION

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STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
GRADING & DRAINAGE
PLAN

DRAWING:
C-5

Z:\PROJECTS\2023\220049\AUG - 2023\STILLWATER BANGOR_HFCADD\DWG\23-05-CADD.DWG

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-81 B	ALL DEVELOPMENT REQUIRING LAND DEVELOPMENT APPROVAL SHALL BE PROVIDED WITH ADEQUATE OUTSIDE LIGHTING TO ENSURE A SAFE ENVIRONMENT. NO UNDESIRABLE ILLUMINATION OR GLARE WILL BE PRODUCED ON ADJACENT STREETS OR LOTS OCCUPIED BY RESIDENTIAL, INSTITUTIONAL OR PUBLIC USES	COMPLIES
§ 165-81 C.2.A	NO LUMINAIRE SHALL PRODUCE A STRAY, LIGHT OR REFLECTION ONTO NEIGHBORING RESIDENTIAL PROPERTIES, OR ONTO ANY PUBLIC ROAD	COMPLIES
§ 165-81 C.2.B	LUMINAIRES SHALL BE SHIELDED OR HOODED SO THAT THE LIGHTING ELEMENTS ARE NOT EXPOSED. NO LUMINAIRE SHALL EMIT ANY DIRECT LIGHT ABOVE ITS HORIZONTAL PLANE	COMPLIES
§ 165-81 C.2.C	NO FLOOD OR SPOT LUMINAIRE SHALL BE AIMED, DIRECTED OR FOCUSED TOWARD ANY ADJACENT OR NEARBY RESIDENTIAL PARCEL	COMPLIES
§ 165-81 C.2.F	MAXIMUM POLE HEIGHT: 25 FT	20 FT

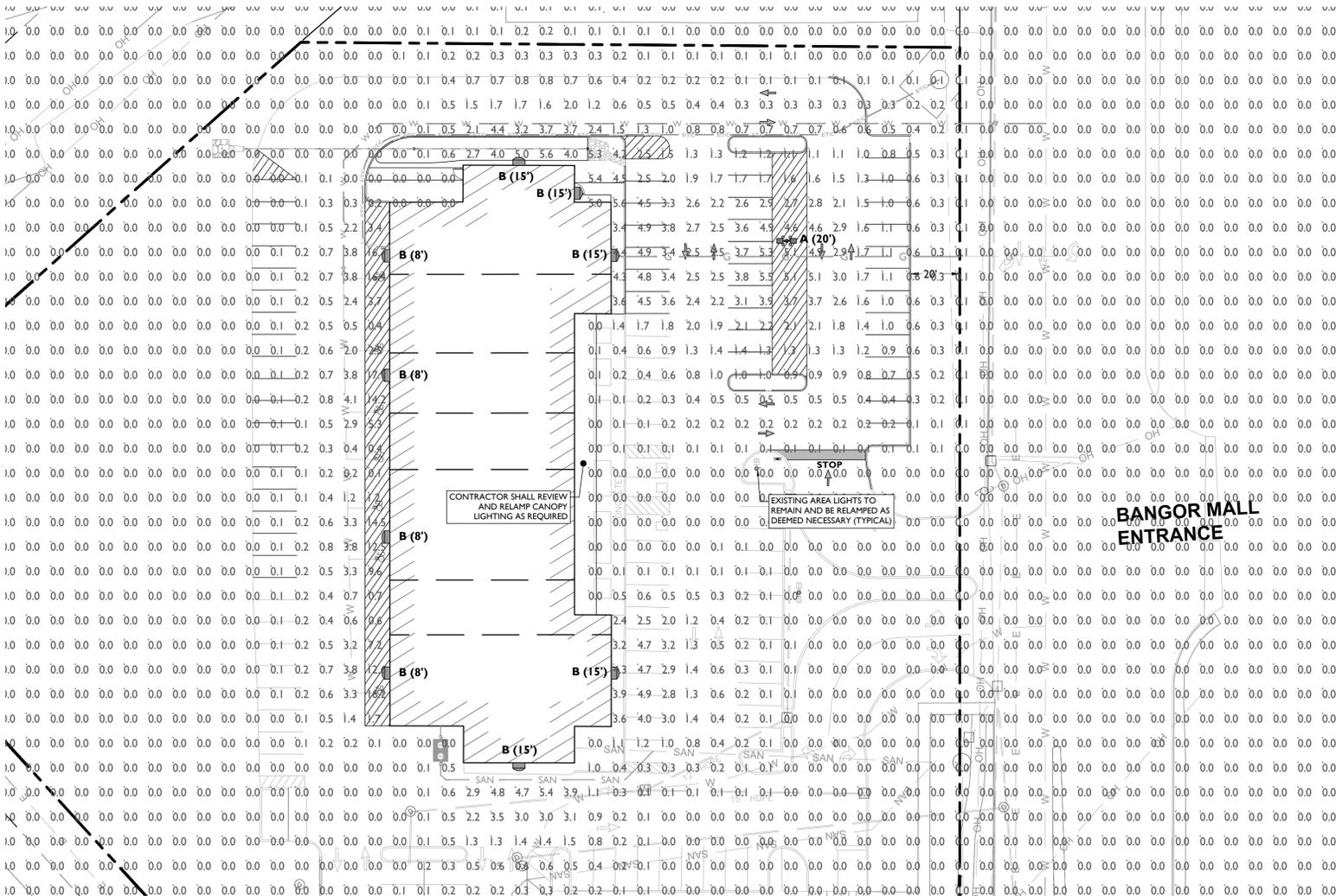
PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	1	SLICE MEDIUM OUTDOOR LED AREA LIGHT	TYPE V	0.9	LSI LIGHTING	SLM-LED-12L-SIL-SW-30-70CRI.IES
	B	9	EDGE SERIES - OUTDOOR LED WALLPACK	TYPE V	0.9	CREE LIGHTING	ARE-EDG-4M-XX-06-E-UL-XX-525-XXXX-40K.IES



SLICE MEDIUM OUTDOOR LED LIGHT (FIXTURE 'A')



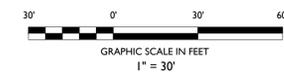
EDGE SERIES OUTDOOR LED WALLPACK (FIXTURE 'B')



SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
---	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+xx	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



DATE	BY	ISSUE	DESCRIPTION
07/18/2024	AB	00	FOR MUNICIPAL RESUBMISSION
02/18/2024	AB	01	FOR MUNICIPAL RESUBMISSION
01/30/2024	AB	02	FOR MUNICIPAL RESUBMISSION
12/01/2023	GHC	03	FOR MUNICIPAL RESUBMISSION
10/06/2023	AB	04	FOR MUNICIPAL RESUBMISSION
07/18/2023	AB	05	FOR MUNICIPAL RESUBMISSION



Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET
**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 842, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE



JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:

LIGHTING PLAN

DRAWING:

C-7

Bangor Retail Management LLC

Flagstar Bank

2098

07/10/2025

PAY TO THE ORDER OF City Of Bangor

\$735.00*****

**** SEVEN HUNDRED THIRTY FIVE AND 00/100 DOLLARS

City Of Bangor
73 Harlow Street
Bangor, ME 04401



[Handwritten Signature]

Authorized Signature

DATE:07/10/2025 CK#:2098 TOTAL:\$735.00***** BANK:Bangor Retail - Flagstar(fgbangor)
PAYEE:City Of Bangor(ban10)

Property	Account	Invoice - Date	Description	Amount
bangor	7102-6000	SLODA Ad Fee - 07/01/20	SLODA advertisement fee	735.00
				<hr/>
				735.00

Bangor Retail Management LLC

Flagstar Bank

2096

07/10/2025

PAY TO THE ORDER OF City Of Bangor

\$690.00*****

**** SIX HUNDRED NINETY AND 00/100 DOLLARS

City Of Bangor
73 Harlow Street
Bangor, ME 04401



Authorized Signature

DATE:07/10/2025 CK#:2096 TOTAL:\$690.00***** BANK:Bangor Retail - Flagstar(fgbangor)
PAYEE:City Of Bangor(ban10)

Property Account	Invoice - Date	Description	Amount
bangor 7102-6000	Land Dev App Fee - 07/0	Land development application fee	690.00
			<u>690.00</u>

Bangor Retail Management LLC

Flagstar Bank

2097

07/10/2025

PAY TO THE ORDER OF City Of Bangor

\$535.00*****

**** FIVE HUNDRED THIRTY FIVE AND 00/100 DOLLARS

City Of Bangor
73 Harlow Street
Bangor, ME 04401



[Handwritten Signature]

Authorized Signature

DATE:07/10/2025 CK#:2097 TOTAL:\$535.00***** BANK:Bangor Retail - Flagstar(fgbangor)
PAYEE:City Of Bangor(ban10)

Property	Account	Invoice - Date	Description	Amount
bangor	7102-6000	SLODA Mod Permit App -	SLODA modification permit applicatio	535.00
				<u>535.00</u>

STONEFIELD

December 12, 2025

Anja Collette
Community & Economic Development
Planning Department
73 Harlow Street
Bangor, ME 04401

**RE: Alrig USA
Proposed Multi-Tenant Development
570 Stillwater Avenue
City of Bangor, Penobscot County, Maine**

Anja:

Our office is submitting documents on behalf of the Applicant to address the outstanding conditions of the Board's Resolution including comments contained within the latest Board Professional's review letters. Please find the following items enclosed:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Site Plans	12-05-2025	5	Stonefield Engineering & Design
Stormwater O&M Manual	12-05-2025	5	Stonefield Engineering & Design
Financial Capacity Letter	08-10-2018	5	Alrig USA Development
MaineDEP Stormwater Application	12-12-2025	5	Stonefield Engineering & Design

Should you have any questions regarding the submission items or responses above please do not hesitate to contact our office.

Regards,



Joshua Kline, PE
Stonefield Engineering and Design, LLC



Giovanni Cesar
Stonefield Engineering and Design, LLC

Via FedEx

Z:\Boston\BOS\2022\BOS-220049 Alrig - 570 Stillwater, Bangor, ME\Correspondence\Outgoing\Municipal\2025-12-12_Municipal Response Letter.docx

The following is an itemized response to the comments contained within the **Planning Staff Comments** dated **October 24, 2025**. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

- *As Red maple isn't very salt tolerant. For survivability purposes, some recommended alternative trees are shown below:*

The Landscaping Plan (Sheet C-9) has been revised to propose the recommended Shademaster Honey Locust, instead of the Red Maple.

- *The response to comments regarding the traffic movement permit says the Massachusetts Department of Transportation. Is this a typo?*

Confirming that the comments regarding the Traffic Movement Permit should be for the Maine Department of Transportation.

- *Please provide specific documentation for financial capacity*

The Applicant has provided a letter denoting that the project will be privately funded and has adequate capacity for the proposed improvements.

- *The landscape plan states that 31 spaces are in the proposed new parking area, but I'm counting 32. Additionally, when the planting ratios result in fractional numbers (3.2 in this case), the Code requires us to round up. This would result in 1 additional tree and shrub planting (3.2 trees rounds up to 4 total, and 12.8 shrubs rounds up to 13).*

The Landscaping Plan (Sheet C-9) has been revised to provide the required tree and shrub count as noted above.

The following is an itemized response to the comments contained within the **Engineering Comments** dated **November 6, 2025**. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

- *As noted in our first set of comments their previous site plan approval was subject to a MDEP Stormwater Permit. With the additional modifications to the site, they also need to modify their existing stormwater permit for the site with the Maine DEP. The applicant responded by sending us a SLODA narrative, and also stating that their improvements were up to Maine DEP stormwater standards. Their site is proposed to be less than 3 acres of impervious surface, and therefore does not meet SLODA permitting thresholds. I believe their previous approvals were also for less than 3 acres, though their submittal states they are over 3 acres. I want to make sure the applicant understands that the stormwater permitting process, including modifications, is through the Maine DEP, not the City of Bangor. I have no issues with the site plan. I would like to make sure they understand who the permitting authority is for this application.*

The Applicant acknowledges that the stormwater revision shall be permitted through the State and has engaged MaineDEP to prepare the required submission process.

- *The City will need the updated post-construction maintenance plan for site, including the proposed bioretention cell. Please send a copy of the MDEP stormwater permit modification application, which would include a post-construction maintenance plan.*

The Applicant has provided an updated Stormwater O&M Manual in the application package.

- *Attached is a sketch of the proposed parking layout with a minor adjustment. Would this alignment be more beneficial to the site?*

The Applicant wishes to proceed with the current circulation layout provided.

The following is an itemized response to the comments contained within the **BWD Water Comments** dated **November 6, 2025**. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

- *Bangor Water District never received confirmation of how the existing fire service will be used, modified or abandoned. It enters the building in the portion which will be demolished.*

The Demolition Plan (Sheet C-3) has been revised to denote that the existing water service shall be cut and cap in accordance with the Bangor Water District requirements.



Via E-Mail

August 10, 2018

City of Bangor - Planning
Anja Collette
73 Harlow Street
Bangor, ME 04401

Re: 570 Stillwater Ave, Bangor, ME – Redevelopment of existing building

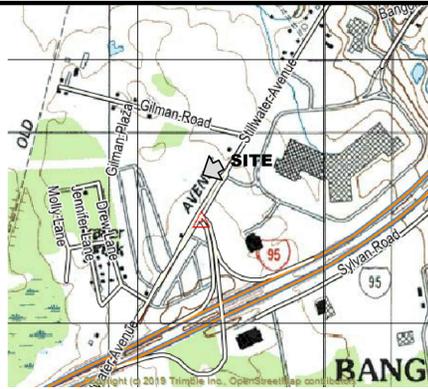
Dear Anja Collette:

This letter shall confirm that this proposed project is privately funded for improvements that we are seeking approval on and no public funds are being requested in order to deliver upon this project.

Feel free to contact me should you have any questions.

Very truly yours,

Jordan Chapman



LOCATION MAP: USGS QUADRANGLE: VEAZIE
 MAPTECH® USGS TOPOGRAPHIC SERIES™
 ©MAPTECH®, INC. 978-933-3000
 WWW.MAPTECH.COM/TOPO

- NOTES:**
- 1) ALL BOOK AND PAGE NUMBERS REFER TO THE PENOBSCOT COUNTY REGISTRY OF DEEDS.
 - 2) SOURCE DEED: E. JEAN OLIVER TO BANGOR RETAIL MANAGEMENT, LLC DATED JULY 10, 2017 RECORDED JULY 11, 2017 AND RECORDED IN BOOK 14542, PAGE 1 OF SAID REGISTRY OF DEEDS.
 - 3) THIS IS AN ABOVE-GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED ON SURFACE FEATURES VISIBLE AT THE TIME OF THE SURVEY AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING.
 - 4) THIS SURVEY IS ORIENTED TO THE MAINE STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
 - 5) ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV D 88).
 - 6) SEWER LINES, UTILITY INFORMATION AND STORMDRAIN FEATURES SHOWN HEREON WERE OBTAINED FROM THE CITY OF BANGOR GIS DATA, INVERT INFORMATION SHOWN HEREON WAS OBTAINED FROM FIELD MEASUREMENTS. WATERLINES ARE FROM THE PLAN REFERENCES HEREON AND ALL UTILITIES SHOULD BE FIELD VERIFIED.

PROPERTY DESCRIPTION PER TITLE REPORT:

A certain lot or parcel of land, with the improvements thereon, situate on the northwesterly side of Stillwater Avenue, so-called, in Bangor, County of Penobscot, State of Maine, being bounded and described as follows, to-wit:

Beginning at a point being a found iron rod situated on the northwesterly sideline of said Stillwater Avenue, marking the southerly corner of lands now or formerly of Burton Dennis Payson, Jr. as described in the deed recorded in the Penobscot County Registry of Deeds in Volume 3788, Page 111; thence N. 57 degrees, 47 minutes, 07 seconds W., along lands of said Payson a distance of 268.64 feet to a found iron rod on the southeasterly line of other lands now or formerly of Burton Dennis Payson, Jr. as described in the deed recorded in said Registry of Deeds in Volume 4074, Page 105; thence S. 80 degrees, 47 minutes, 10 seconds W., along lands of said Payson, a distance of 281.34 feet to another iron rod found; thence S. 10 degrees, 51 minutes, 00 seconds E., along lands, now or formerly, of Judson M. Grant, Jr. as described in a deed recorded in said Registry of Deeds in Volume 3875, Page 327, a distance of 627.74 feet to a tree situated on said line; thence S. 16 degrees, 39 minutes, 48 seconds E., a distance of 77.22 feet to an iron rod found in the said northwesterly sideline of Stillwater Avenue; thence N. 31 degrees, 37 minutes, 12 seconds E., by and along the said northwesterly sideline of Stillwater Avenue, a distance of 695.60 feet to an iron rod at the point of beginning.

PLAN REFERENCES:

1. "ALTANSPS LAND TITLE SURVEY, LAND OWNED BY E. JEAN OLIVER ON THE NORTHWEST SIDE OF STILLWATER AVENUE IN THE CITY OF BANGOR, COUNTY OF PENOBSCOT AND STATE OF MAINE" DATED MARCH 1, 2017 AND PREPARED BY MCNALLY LAND SURVEYORS.
2. "SITE DEVELOPMENT PLANS FOR THE AVENUE DEVELOPMENT" PROVIDED BY THE CITY OF BANGOR, APPROVED JUNE 20, 2017 AND PREPARED BY STONEFIELD ENGINEERING AND DESIGN.
3. "STATE OF MAINE, DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAYS, RIGHT OF WAY MAP, STATE AID HIGHWAY NO. 19, BANGOR PENOBSCOT COUNTY, FEDERAL AID PROJECT NO. M-1510(1), SHC FILE NO. 10-263" DATED JAN. 1981 AND RECORDED IN VOLUME D123-83 OF THE PENOBSCOT COUNTY REGISTRY OF DEEDS.
4. "STATE OF MAINE, DEPARTMENT OF TRANSPORTATION, RIGHT OF WAY MAP, STATE HIGHWAY "95" FEDERAL AID PROJECT NO. IR4-MNH-88-8(155), DOT FILE NOT. 10-387" DATED JUNE 1999 AND RECORDED IN PLAN FILE 2002-161 AND 2002-162 OF THE PENOBSCOT COUNTY REGISTRY OF DEEDS.

ZONING:
 SHOPPING & PERSONAL SERVICE (S&PS)
 MINIMUM LOT AREA: 10,000 SQ. FT.
 MINIMUM FRONT YARD SETBACK: 40 FEET
 MINIMUM SIDE YARD SETBACK: 25 FEET
 MINIMUM REAR YARD SETBACK: 10 FEET

FLOOD NOTE:

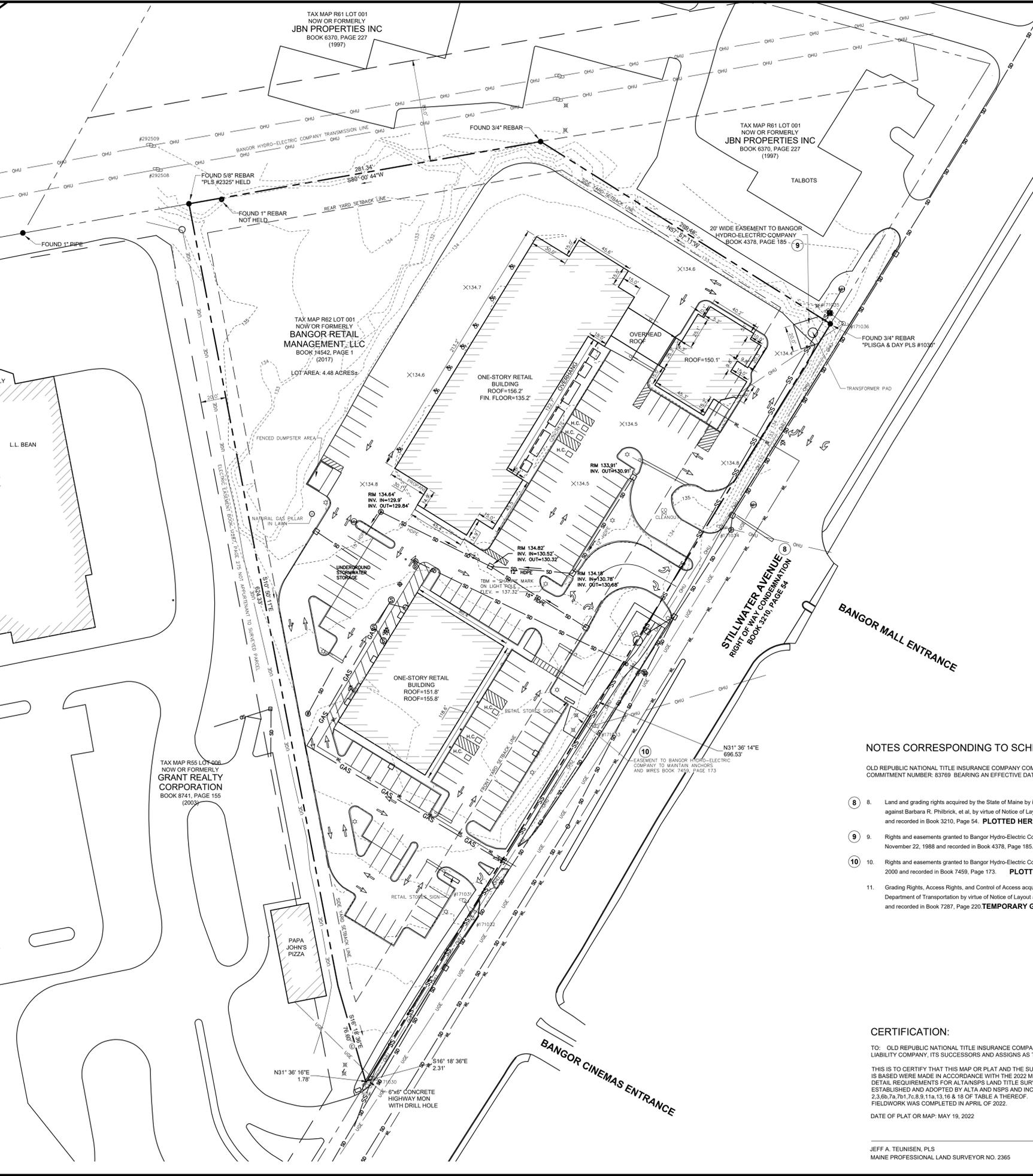
BY GRAPHIC PLOTTING THE SUBJECT PARCEL IS SITUATED IN ZONE X AS DEPICTED ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 230102 0012 C WHICH BEARS AN EFFECTIVE DATE OF MARCH 4, 2002. THE MAP INDICATES THAT THE SURVEYED PARCEL IS NOT SUBJECT TO A SPECIAL FLOOD HAZARD AREA ASSOCIATED WITH THE 100 YEAR FLOOD.

TABLE A NOTES:

- 16) NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- 17) NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES KNOWN. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

LEGEND:

DESCRIPTION	EXISTING
MONUMENT	●
PIN FOUND	○
SEWER MANHOLE	⊙
UTILITY POLE	⊕
CATCH BASIN	⊞
HYDRANT	⊞
PROPERTY LINE	---
OVERHEAD UTILITY LINE	OHU
EDGE OF PAVEMENT	---
SETBACK	---
MINOR FOOT CONTOUR	---
MAJOR FOOT CONTOUR	---
FENCE	X-X



NOTES CORRESPONDING TO SCHEDULE B:

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE COMMITMENT NUMBER: 83769 BEARING AN EFFECTIVE DATE OF JANUARY 13, 2017 @ 4:00 PM.

8. Land and grading rights acquired by the State of Maine by its Department of Transportation against Barbara R. Philbrick, et al. by virtue of Notice of Layout and Taking dated July 21, 1981 and recorded in Book 3210, Page 54. **PLOTTED HEREON, DOES NOT AFFECT.**
9. Rights and easements granted to Bangor Hydro-Electric Company in an instrument dated November 22, 1988 and recorded in Book 4378, Page 185. **PLOTTED HEREON, DOES AFFECT.**
10. Rights and easements granted to Bangor Hydro-Electric Company in an instrument dated 2000 and recorded in Book 7459, Page 173. **PLOTTED HEREON, DOES AFFECT.**
11. Grading Rights, Access Rights, and Control of Access acquired by the State of Maine by its Department of Transportation by virtue of Notice of Layout and Taking dated December 15, 1999 and recorded in Book 7287, Page 220 **TEMPORARY GRADING RIGHTS, DOES NOT AFFECT.**

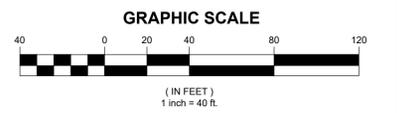
CERTIFICATION:

TO: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND ALRG USA ACQUISITIONS, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND ASSIGNS AS THOSE INTERESTS MAY APPEAR.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2022 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2.3, 6.5, 7a, 7b1, 7c, 8.9, 11a, 13, 16 & 18 OF TABLE A THEREOF. FIELDWORK WAS COMPLETED IN APRIL OF 2022.

DATE OF PLAT OR MAP: MAY 19, 2022

JEFF A. TEUNISEN, PLS
 MAINE PROFESSIONAL LAND SURVEYOR NO. 2365



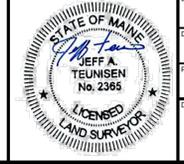
REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				

HALEY WARD
 ENGINEERING | ENVIRONMENTAL | SURVEYING
 One Merchants Plaza, Suite 701
 Bangor, Maine 04401
 207.989.4824
 WWW.HALEYWARD.COM

ALRG USA
 PROPERTY OF
BANGOR RETAIL MANAGEMENT, LLC

ALTANSPS LAND TITLE SURVEY

DATE	SCALE
2022.05.13	1"=40'
DRAWN BY: DG	DESIGNED BY: ---
PROJECT No. 12696.007	CHECKED BY: ---
DRAWING No. V101	REV.



FILE LOCATION: P:\2026\ALRG_USA\2022\513 STILLWATER AVE BANGOR ALTA TOPG.LA102.CAD_PLEBSURV\DWG_2022.07.26_9.27.AM

#L- _____
ATS # _____
Fees Paid _____
Date Received _____

MINOR REVISION APPLICATION
For Site Location, Natural Resources Protection Act & Stormwater Projects

This form shall be used for minor revisions to a project that has received previous Site Law, NRPA or Stormwater Law approval from the Department, where the revision(s) significantly decreases or eliminates an environmental impact, does not significantly expand the project, does not change the nature of the project or does not modify any Department findings with respect to any licensing criteria. If significant project changes are proposed, then an amendment application will be required by the Department.

Please contact the DEP for current fee schedule information. The fee schedule is updated every November 1. The fee is payable to "Treasurer, State of Maine", and **MUST** accompany the application.

Please type or print in black ink only

1. Name of Applicant:	Bangor Retail Mgmt.	5. Name of Agent:	Stonefield Engineering
2. Applicant's Mailing Address:	[REDACTED]	Agent's Mailing Address:	[REDACTED]
3. Applicant's Daytime Phone #:	[REDACTED]	7. Agent's Daytime Phone #:	[REDACTED]
4. Applicant e-mail address (REQUIRED):	[REDACTED]	8. Agent e-mail address (REQUIRED):	[REDACTED]
LOCATION OF ACTIVITY			
9. Name of Project:	570 Stillwater Avenue		
10. Name of Town where project is located:	Bangor	11. County:	Penobscot
REQUIRED INFORMATION:			
12. Existing DEP permit number:		13. DEP Project Manager for previous application (if known):	
14. Description of Proposed Change: (Use additional sheet, if necessary)	Proposed parking lot improvements		

Provide all documentation necessary to support the proposed change. This documentation should include, as appropriate, revised site plans, construction drawings, and technical data such as HHE-200 forms. (If you are unsure of what information to include, please contact the original DEP project manager, or the Division of Land Resource Regulation in the appropriate regional office for assistance.)

This completed application form, fee and all supporting documents summarized above shall be sent to the appropriate DEP Office in Augusta, Portland or Bangor.

Bureau of Land and Water Quality 17 State House Station Augusta, ME 04333 Tel: (207) 287-3901	Bureau of Land and Water Quality 312 Canco Road Portland, ME 04103 Tel: (207) 822-6300	Bureau of Land and Water Quality 106 Hogan Road Bangor, ME 04401 (207) 941-4570
--	---	--

CERTIFICATIONS / SIGNATURES on PAGE 2

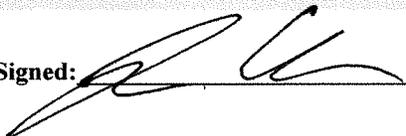
IMPORTANT: IF THE SIGNATURE BELOW IS NOT THE APPLICANT'S SIGNATURE, ATTACH LETTER OF AGENT AUTHORIZATION SIGNED BY THE APPLICANT.

By signing below the applicant (or authorized agent), certifies that he or she has read and understood the following :

CERTIFICATIONS / SIGNATURES

"I certify under penalty of law that I have personally examined the information submitted in this document and all attachments thereto and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe the information is true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment. I authorize the Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein.

Further, I hereby authorize the DEP to send me an electronically signed decision on the license I am applying for with this application by e-mailing the decision to the electronic address located on the front page of this application (see #4 and #8)"

Signed:  Title Project Manager Date: 7/15/2025

Notice of Intent to Comply with Maine Construction General Permit

If over one acre of new disturbance will result as part of the proposed minor revision, please sign here acknowledging that with this minor revision form and signature below, I am filing notice of my intent to carry out work which meets the requirements of the Maine Construction General Permit. I have read and will comply with all of the MCGP standards.

Signed _____ Date: _____

NOTE: If a Notice of Intent is required, you must file a Notice of Termination (NOT form available from the Department) within 20 days of completing permanent stabilization of the project site.

STONEFIELD

October 15, 2025

Anja Collette
Community & Economic Development
Planning Division
73 Harlow Street
Bangor, ME 04401

**RE: Proposed Parking Lot Reconstruction
Map R62, Lot 001
570 Stillwater Avenue
City of Bangor, Penobscot, Maine**

On behalf of the Applicant, Stonefield Engineering and Design, has prepared the following Site Location of Development Act Modification Narrative to outline the proposed project and provide support for the SLODA Modification Permit Application.

Section 1 – Development Description

The subject property is located across the Bangor Mall along Stillwater Avenue in the City of Bangor, Penobscot County, Maine. The subject property is designated as Map R62, Lot 001, commonly known as 570 Stillwater Avenue, Bangor, Maine. The existing site contains a single floor multi-tenant building operating with various commercial uses with existing access via one (1) signalized full movement driveway and one (1) right-in/right-out driveway along Stillwater Avenue. It is important to note that under the proposed parking lot expansion, the existing access would be maintained and the commercial building footprint would be marginally reduced. As such, future subject site operations are anticipated to be generally consistent with historical operations and the net traffic impacts of the redevelopment would be negligible.

Section 2 – Title, Right or Interest

The Applicant owns the property. Please refer to the Appendix for the property deed.

Section 3 – Financial Capacity

The project shall be funded by the budget prepared by the applicant, Bangor Retail Management, LLC.

Section 4 – Technical Ability

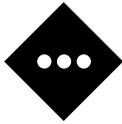
Stonefield Engineering and Design has been retained by the applicant to deliver engineering expertise and support throughout the project.

Section 5 – Noise

The development will be designed to minimize noise impacts on surrounding properties. All construction activity will comply with the Town's Zoning Ordinance and be limited to designated working hours.

Section 6 – Visual Quality and Scenic Character

Visual Quality and the scenic character of the Town will not be affected by the proposed parking lot. No new buildings will be erected as part of the proposed improvements.



Section 7 – Wildlife and Fisheries

Based on the City of Bangor ArcGIS, no historic sites have been identified within the boundaries of the subject parcel. No significant impact to local wildlife and fisheries is anticipated.

Section 8 – Unusual Natural Area

According to City of Bangor ArcGIS data and a site survey conducted on behalf of the applicant no designated unusual natural areas have been identified within the boundaries of the subject parcel. No significant impact to unusual natural areas is anticipated. Please refer to the Site Survey in the Appendix.

Section 9 – Historic Sites

According to City of Bangor ArcGIS data, no historic sites have been identified within the boundaries of the subject parcel. This project will have no impact on historic sites.

Section 10 – Buffers

The proposed redevelopment complies with all applicable buffer requirements set forth in the City Zoning Ordinance. No additional buffers are anticipated to meet City requirements and standards.

Section 11 – Soils

The soils within the subject property are primarily a mix of Pushaw-Swanville urban land and Anthroportic urban land. Please refer to the USDA NRCS Web Soil Survey included in the Appendix.

Section 12 – Stormwater Management

The total project area is 195,280 SF (4.48 acres), the total area of impervious surfaces has decreased by 3,065 SF (0.07 acres), and the total area of disturbance is 15,831 SF (0.38 acres).

The intent for the project is to ensure that the post-construction drainage patterns match or improve upon the previously approved development while reducing the overall sheet flow onto Stillwater Avenue, reducing overall impervious surface area, and meeting stormwater treatment requirements through the proposed bioretention cell. Please see below for a short summary of pre-developed and post-developed drainage area conditions.

TABLE I: PRE-DEVELOPMENT DRAINAGE AREA

Drainage Area	Description	Area Extents	Impervious Area
E-1	Existing Drainage to Stillwater Avenue	11,539 SF	9,894 SF
E-2	Existing Drainage to Parking Lot	4,292 SF	3,872 SF

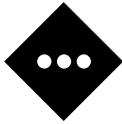


TABLE 2: POST-DEVELOPMENT DRAINAGE AREA

Drainage Area	Description	Area Extents	Impervious Area
P-1	Proposed Drainage to Stillwater Avenue	5,670 SF	3,534 SF
P-2	Proposed Drainage to Bioretention Cell	5,905 SF	4,198 SF
P-3	Proposed Drainage to Parking Lot	4,256 SF	2,969 SF

Section 13 – Urban Impaired Stream

The project is located within an Urban Impaired Watershed (Penjawoc Stream). Given the natural reduction in impervious area, the project is exempt from any mitigation/flood compensation requirements as outlined in MDEP Chapter 500 subsection (4)(E).

Section 14 – Basic Standards

The project will maintain existing stormwater infrastructure and implement erosion control in accordance with the City of Bangor and MaineDEP regulations. Please refer to the Soil Erosion & Sediment Control Plan (Sheet C-6).

Section 15 – Groundwater

According to City of Bangor ArcGIS data, no sand and gravel aquifer or fractured bedrock aquifer have been identified within the boundaries of the subject parcel. The proposed project will not utilize groundwater.

Section 16 – Water Supply

The existing facility is served by the Bangor Water District. There are no proposed changes at this time that would increase water demand.

Section 17 – Wastewater Disposal

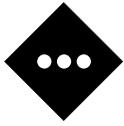
The existing facility is served by the City of Bangor wastewater treatment facility. There are no proposed changes at this time that would increase wastewater disposal.

Section 18 – Solid Waste

There is existing solid waste disposal for the existing building. The project will not generate any special or hazardous solid waste. All construction debris will be disposed appropriately by the contractor.

Section 19 – Flooding

The existing site is not located within a flood zone. Please refer to flood insurance rate map #23019C2109D dated July 19, 2023 in the Appendix.



Section 20 – Blasting

The proposed improvements are not anticipated to require blasting.

Section 21 – Air Emissions

The proposed improvements are not anticipated to generate air emissions.

Section 22 – Odor

The proposed improvements are not anticipated to generate any significant odors.

Section 23 – Water Vapor

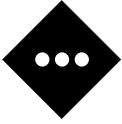
The proposed improvements are not anticipated to generate any water vapor.

Section 24 – Sunlight

The proposed improvements will not influence sunlight on adjacent properties.

Section 25 – Notices

All required public notices and abutter notifications will be coordinated in accordance with municipal requirements.



APPENDIX A

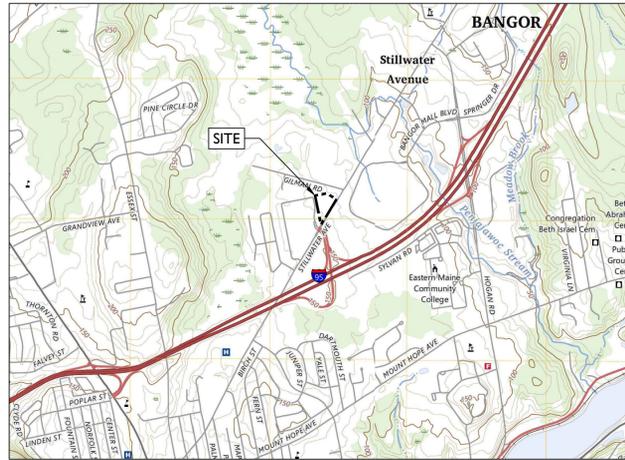
INVENTORY

SITE PLANS

DEED

NRCS SOILS REPORT

FEMA MAP



SOURCE: USGS BANGOR QUADRANGLE MAPS 7.5 SERIES: BANGOR, MAINE, 2024

LOCATION MAP

SCALE: 1" = 2,000'±

SITE PLAN SET FOR THE AVENUE DEVELOPMENT PROPOSED PARKING LOT EXPANSION

MAP: R62 LOT: 001
570 STILLWATER AVENUE
CITY OF BANGOR, PENOBSCOT COUNTY, MAINE

ZONING LEGEND

- SHOPPING AND PERSONAL SERVICE
- LOW DENSITY RESIDENTIAL

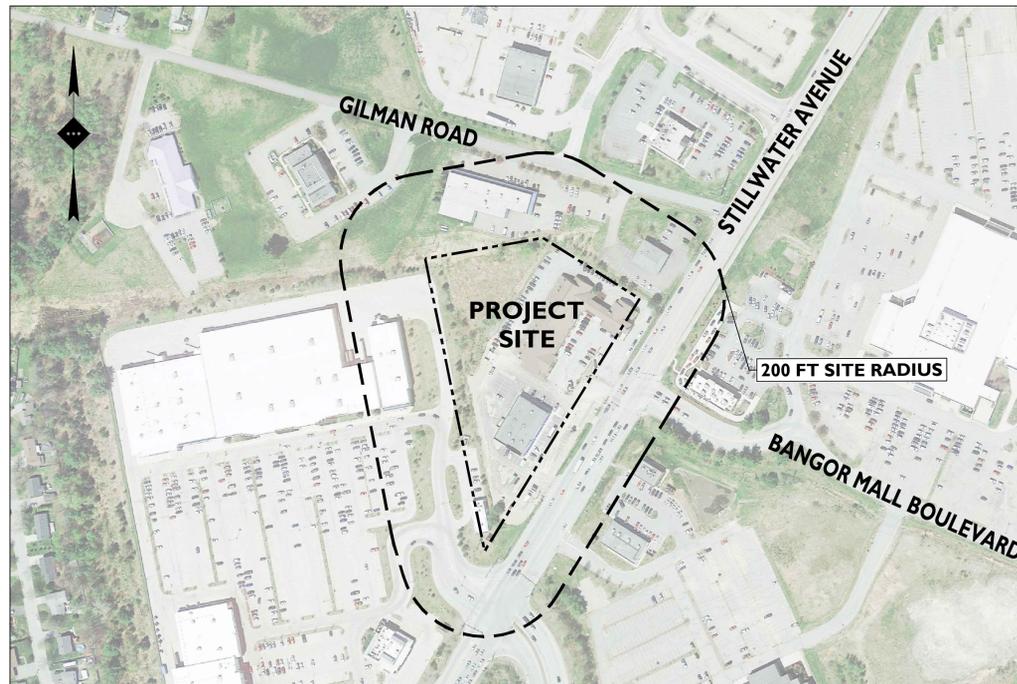
OWNER/APPLICANT

BANGOR RETAIL MANAGEMENT, LLC



Know what's below
Call before you dig.

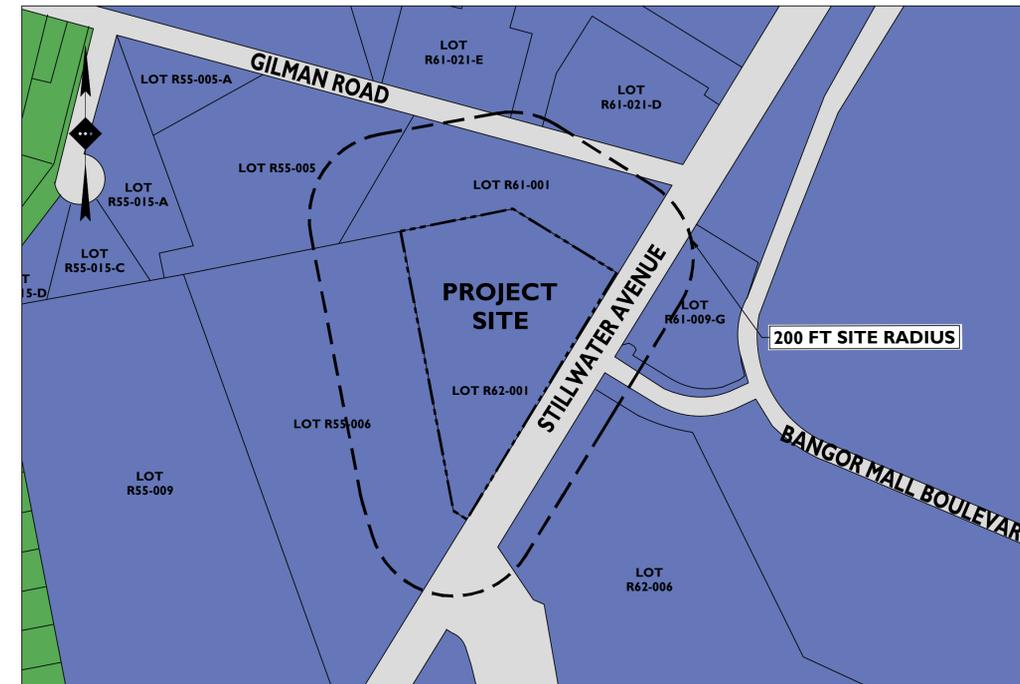
ISSUE	DATE	BY	DESCRIPTION
1	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
0	07/18/2025	AB	FOR MUNICIPAL SUBMISSION



SOURCE: GOOGLE EARTH PRO, RETRIEVED ON JUNE 29, 2022

AERIAL MAP

SCALE: 1" = 200'±



SOURCE: ZONING MAP OBTAINED FROM THE CITY OF BANGOR, DATED MARCH 14, 2018

ZONING MAP

SCALE: 1" = 200'±

PLANS PREPARED BY:



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Phone 617.203.2076

MAP	LOT	OWNER	OWNER'S ADDRESS
R55	005	NO LIMITS, LLC	PO BOX 458, WINTERPORT, ME 04496
R55	006	GRANT REALTY CORPORATION C/O PARAMOUNT REALTY SERVICES ATTN: MARTY SAFCHIK	LAKEWOOD, NJ 08701
R61	001	JBN PROPERTIES INC	42 GILMAN ROAD, BANGOR, ME 04401
R61	009-G	BANGOR MALL REALTY LLC ATTN: NAMDAR REALTY GROUP	150 GREAT NECK ROAD SUITE 304, GREAT NECK NY, 11021
R62	006	ERG REALTY LLC	PO BOX 2400, BANGOR, ME 04402-2400
R62	009	605 STILLWATER AVENUE, LLC	3280 SUNRISE HIGHWAY, STE 77, WANTAGH, NY 11793

PLAN REFERENCE MATERIALS:

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTAIENS'S LAND TITLE SURVEY PROVIDED BY HALEY WARD ENGINEERING DATED MAY 13, 2022
 - ARCHITECTURAL PLANS PROVIDED BY DETROIT ARCHITECTURAL GROUP DATED MARCH 25, 2022
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO DATED JUNE 29, 2022
 - ZONING MAP OBTAINED FROM CITY OF BANGOR DATED MARCH 14, 2018
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
SOIL EROSION & SEDIMENT CONTROL PLAN	C-8
LANDSCAPING PLAN	C-9 - C-10
CONSTRUCTION DETAILS	C-11 - C-12

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SITE PLAN SET
THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

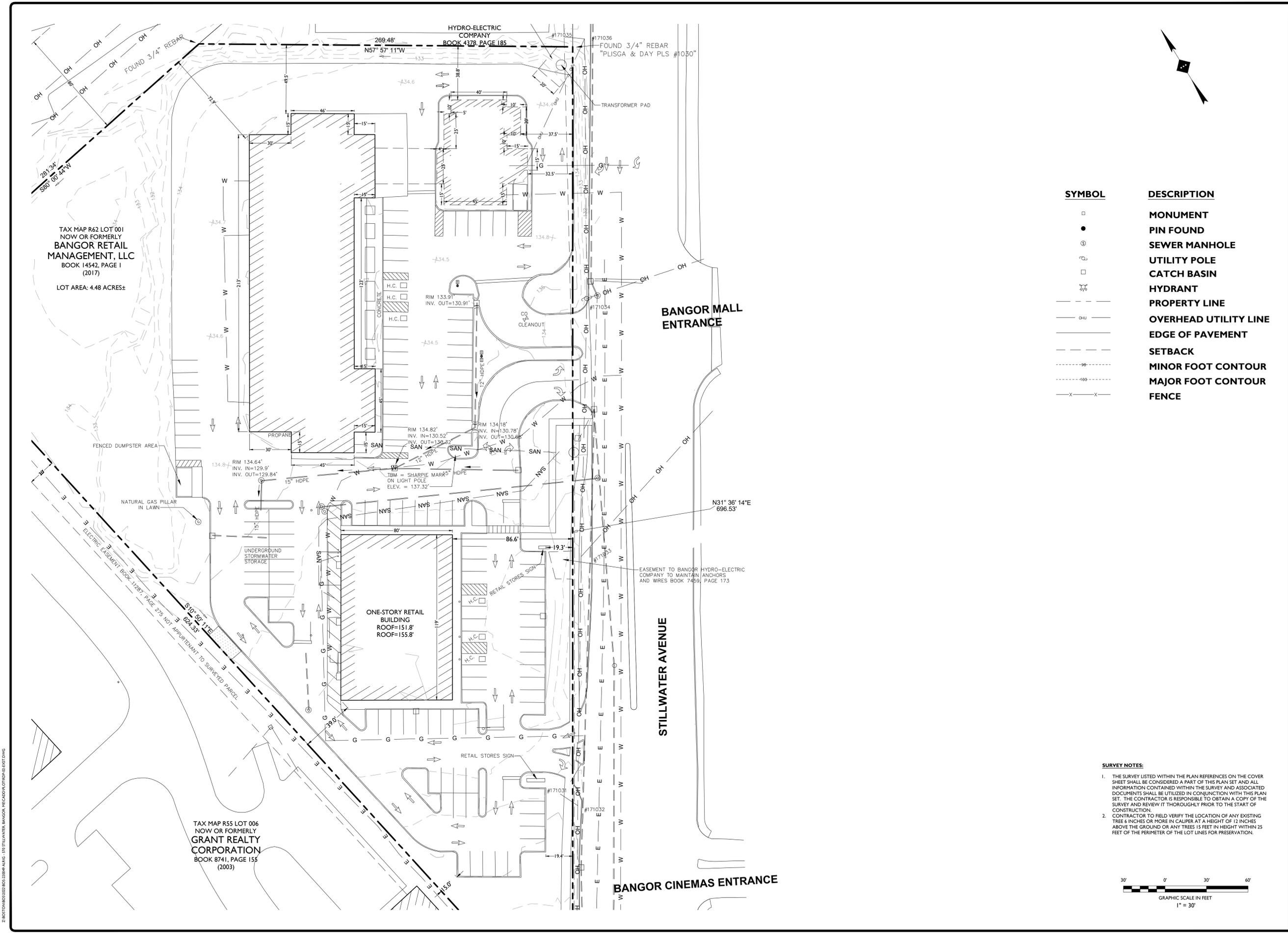


SCALE: AS SHOWN PROJECT ID: BOS-220049

TITLE:
COVER SHEET

DRAWING:
C-1

Z:\B01074\BOS220049\AUG - 2025\STILLWATER_BANGOR_MHCAD\LOT001\DRW-01_COV.DWG

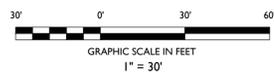


TAX MAP R62 LOT 001
NOW OR FORMERLY
**BANGOR RETAIL
MANAGEMENT, LLC**
BOOK 14542, PAGE 1
(2017)
LOT AREA: 4.48 ACRES±

TAX MAP R55 LOT 006
NOW OR FORMERLY
**GRANT REALTY
CORPORATION**
BOOK 8741, PAGE 155
(2003)

SYMBOL	DESCRIPTION
□	MONUMENT
●	PIN FOUND
⊙	SEWER MANHOLE
⊕	UTILITY POLE
⊗	CATCH BASIN
⊘	HYDRANT
---	PROPERTY LINE
---	OVERHEAD UTILITY LINE
---	EDGE OF PAVEMENT
---	SETBACK
---	MINOR FOOT CONTOUR
---	MAJOR FOOT CONTOUR
-X-X-	FENCE

- SURVEY NOTES:**
- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR TO FIELD VERIFY THE LOCATION OF ANY EXISTING TREE 6 INCHES OR MORE IN CALIPER AT A HEIGHT OF 12 INCHES ABOVE THE GROUND OR ANY TREES 15 FEET IN HEIGHT WITHIN 25 FEET OF THE PERIMETER OF THE LOT LINES FOR PRESERVATION.



DATE	BY	DESCRIPTION
10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
07/18/2025	AB	FOR MUNICIPAL SUBMISSION

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SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

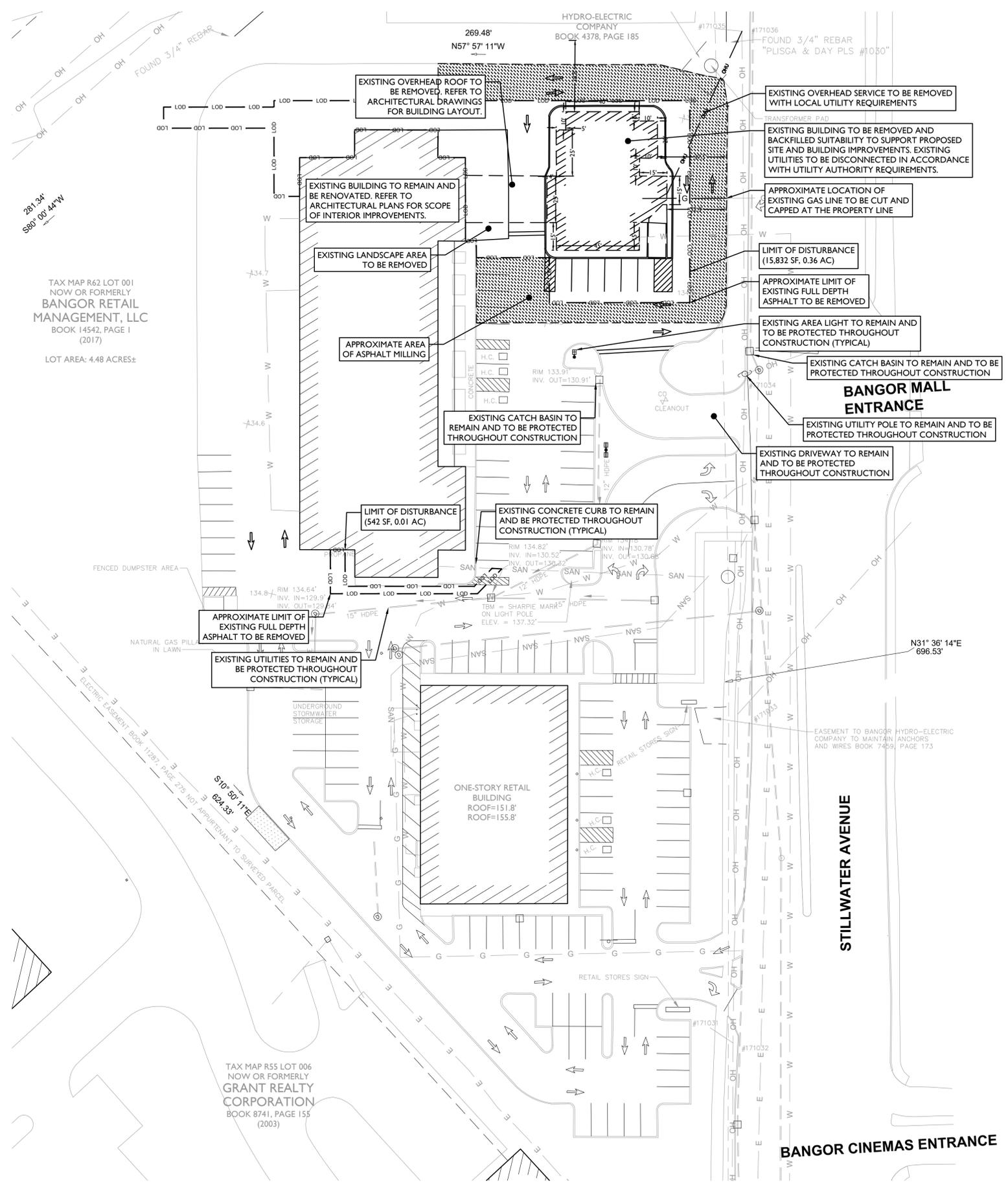
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SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
**EXISTING CONDITIONS
PLAN**

DRAWING:

C-2



TAX MAP R62 LOT 001
NOW OR FORMERLY
**BANGOR RETAIL
MANAGEMENT, LLC**
BOOK 14542, PAGE 1
(2017)
LOT AREA: 4.48 ACRES±

TAX MAP R55 LOT 006
NOW OR FORMERLY
**GRANT REALTY
CORPORATION**
BOOK 8741, PAGE 155
(2003)

SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE

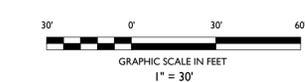
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



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DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
6. CONTRACTOR RESPONSIBLE FOR THE REMOVAL OF ANY UNDERGROUND TANKS OR GREASE TRAPS IN ACCORDANCE TO LOCAL AND STATE STANDARDS.
7. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ENVIRONMENTAL REPORTS AND THEIR ASSOCIATED RECOMMENDATIONS.



FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL SUBMISSION	DATE	BY	DESCRIPTION
1	0	10/06/2025	AB	
	1	07/18/2025	AB	

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SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE NO. 16648
LICENSED PROFESSIONAL ENGINEER

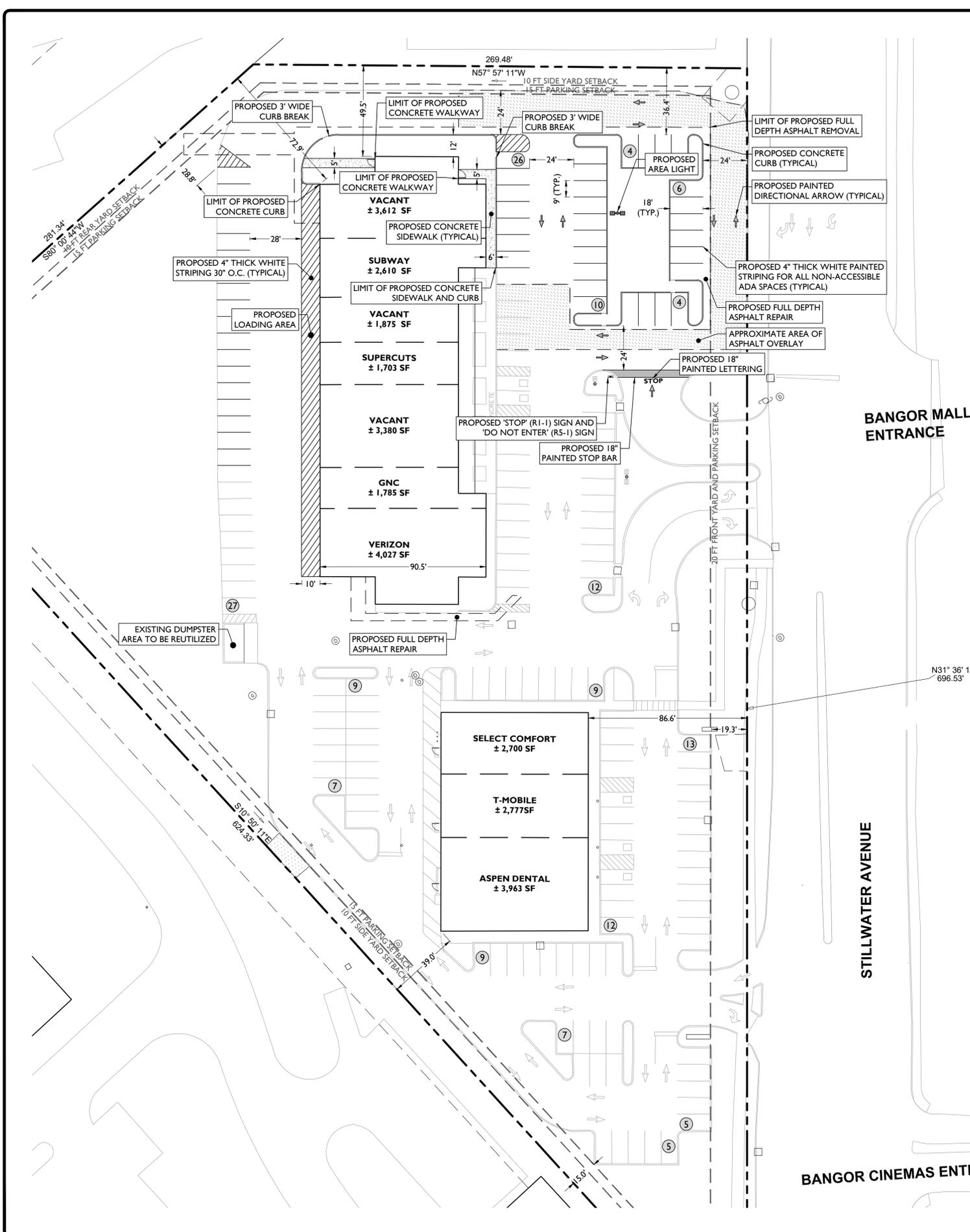
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SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
DEMOLITION PLAN

DRAWING:
C-3

Z:\PROJECTS\2025\220049\AUG_25\STILLWATER_BANGOR_HICAD\DWG\DEMOLITION.DWG



LAND USE AND ZONING				
MAP R62, LOT 001				
SHOPPING AND PERSONAL SERVICE (S&PS)				
PENJAWOC MARSH OVERLAY ZONE				
PROPOSED USE				
NO CHANGE IN PROPOSED USE				
ZONING REQUIREMENT	REQUIRED	EXISTING	PREVIOUSLY APPROVED (2017)	PROPOSED
MINIMUM LOT AREA	10,000 SF (0.45 AC)	195,280 SF (4.48 AC)	195,280 SF (4.48 AC)	NO CHANGE
MINIMUM LOT WIDTH	100 FT	698.3 FT	698.3 FT	NO CHANGE
MAXIMUM IMPERVIOUS SURFACE RATIO	0.70 (136,696 SF)	0.67 (131,158 SF)	0.63 (122,606 SF)	0.66 (129,714 SF)
MAXIMUM LOT COVERAGE	25.0% (48,820 SF)	16.6% (32,439 SF)	20.0% (39,060 SF)	14.6% (28,432 SF)
MAXIMUM BUILDING HEIGHT	40 FT	< 40 FT	< 40 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	20 FT	32.5 FT	87.0 FT	86.6 FT
MINIMUM SIDE YARD SETBACK	10 FT	38.8 FT	39.3 FT	39.0 FT
MINIMUM REAR YARD SETBACK	10 FT	72.9 FT	72.9 FT	NO CHANGE
MAXIMUM FLOOR AREA RATIO	0.6	0.20 (39,060 SF)	0.20 (39,060)	0.15 (28,432 SF)
MINIMUM PARKING SETBACK (STREET LINE)	20 FT	19.3 FT	20 FT	19.3 FT
MINIMUM PARKING SETBACK (SIDE & REAR LOT LINE)	15 FT	15 FT	15 FT	15 FT

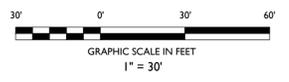
OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-72S	ADA PARKING: TOTAL PARKING SPACES: 165 SPACES REQUIRED MINIMUM OF HANDICAPPED ACCESSIBLE SPACES: 6 SPACES	6 SPACES
§ 165-73.D.2	BUFFER REQUIREMENTS: ALL PARKING LOTS FRONTING ON A PUBLIC STREET OR PRIVATE WAY SHALL HAVE AN E BUFFER YARD ALONG THE STREET RIGHT-OF-WAY	COMPLIES
§ 165-74.A	PARKING SPACE SIZE: 90° PARKING: 9 FT X 18 FT W/ 24 FT AISLES	9 FT X 18 FT W/ 24 FT AISLES
§ 165-74.B	LANDSCAPING ISLANDS: MINIMUM WIDTH BETWEEN ROWS: 5 FT MINIMUM WIDTH AT END OF ROWS: 4 FT	N/A 4 FT
§ 165-76	SERVICE: 1 SPACE FOR 1,000 SF TO 25,000 SF 1 SPACE REQUIRED	
§ 165-77	DIMENSIONS: LESS THAN 10,000 SF OF GFA MINIMUM LENGTH: 25 FT MINIMUM WIDTH: 10 FT MINIMUM CLEARANCE: 10 FT	WILL OCCUR DURING OFF PEAK HOURS

TOTAL OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED (*)	PROPOSED (**)
§ 165-72	FURNITURE STORE: FIRST 2,000 SF - 1 SPACE PER 300 SF (2,000 SF) / (300 SF) = 7 SPACES 2,000 SF AND UP - 1 SPACE PER 600 SF (700 SF) / (600 SF) = 2 SPACES DENTAL OFFICE: 1 SPACE PER 200 SF OF FLOOR AREA (3,963 SF) / (200 SF) = 20 SPACES RETAIL STORE & SERVICE BUSINESS: 1 SPACE PER 300 SF OF FLOOR AREA (10,292 SF) / (300 SF) = 35 SPACES DRIVE-IN BUSINESS SERVING FOOD: 1 SPACE PER 200 SF OF SEATING AREA (2,610 SF) * (1/200 SF) = 14 SPACES VACANT: 1 SPACE PER 200 SF OF FLOOR AREA (8,867 SF) / (200 SF) = 45 SPACES TOTAL SPACES REQUIRED: 9 + 20 + 35 + 14 + 45 = 123 SPACES	165 SPACES

(*) REQUIRED NUMBER OF SPACES FOR THE VACANT BUILDING AREA WERE CALCULATED USING GENERAL RESTAURANT REQUIREMENTS
 (**) PROPOSED NUMBERS WERE CALCULATED FROM AN ACCUMULATION OF THE EXISTING AND PROPOSED SITE DESIGN.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED CONCRETE

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



NO.	DATE	ISSUE	BY	DESCRIPTION
1	10/06/2025	AB		FOR MUNICIPAL RESUBMISSION
0	07/18/2025	AB		FOR MUNICIPAL SUBMISSION

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SITE PLAN SET

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570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
SITE PLAN

DRAWING:
C-4

Z:\PROJECTS\2025\220049\AUG_15\31 STILLWATER BANGOR_HICARD\DOT\DWG\04-RTED.DWG

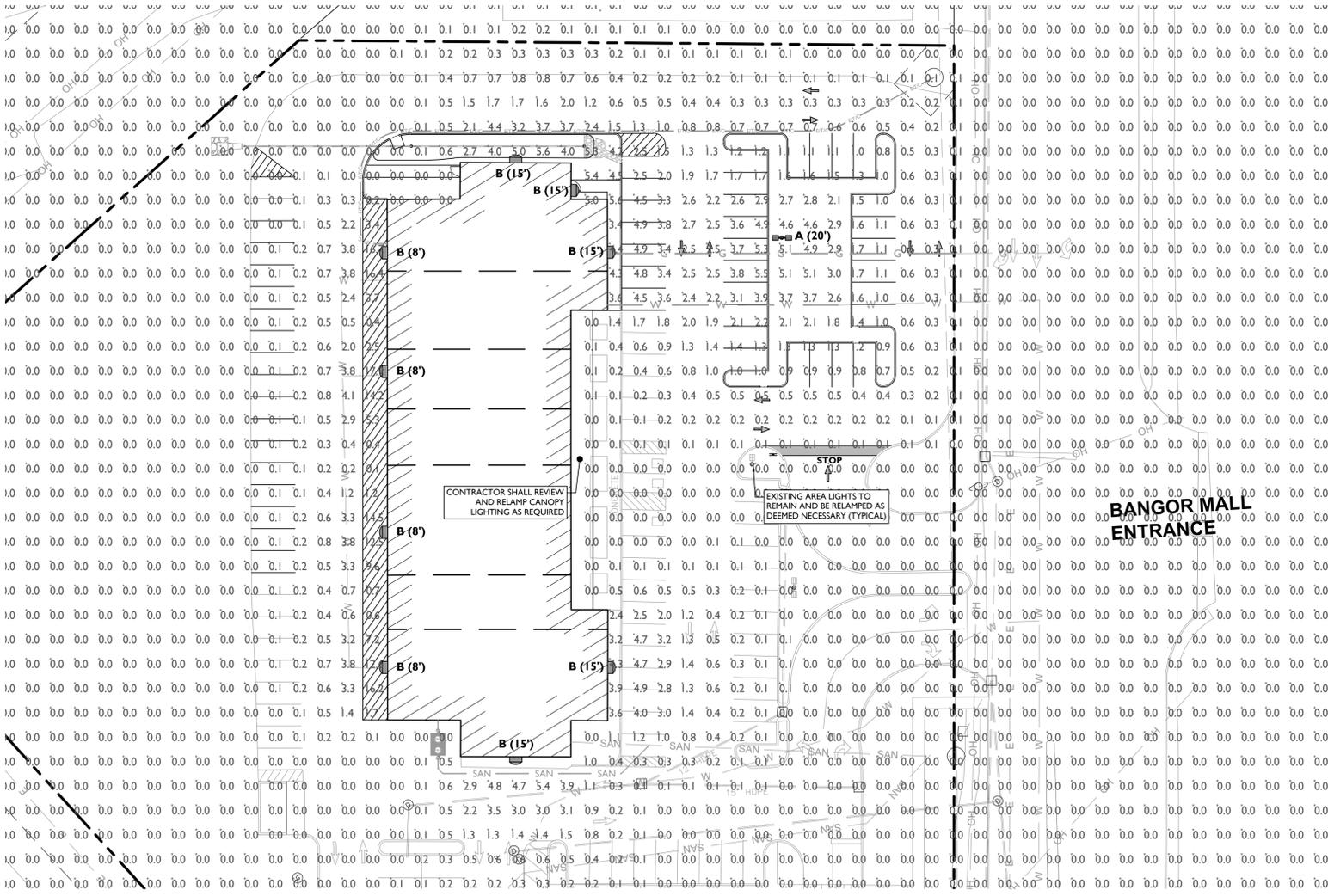
LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-81 B	ALL DEVELOPMENT REQUIRING LAND DEVELOPMENT APPROVAL SHALL BE PROVIDED WITH ADEQUATE OUTSIDE LIGHTING TO ENSURE A SAFE ENVIRONMENT. NO UNDESIRABLE ILLUMINATION OR GLARE WILL BE PRODUCED ON ADJACENT STREETS OR LOTS OCCUPIED BY RESIDENTIAL, INSTITUTIONAL OR PUBLIC USES	COMPLIES
§ 165-81 C.2.A	NO LUMINAIRE SHALL PRODUCE A STRAY, LIGHT OR REFLECTION ONTO NEIGHBORING RESIDENTIAL PROPERTIES, OR ONTO ANY PUBLIC ROAD	COMPLIES
§ 165-81 C.2.B	LUMINAIRES SHALL BE SHIELDED OR HOODED SO THAT THE LIGHTING ELEMENTS ARE NOT EXPOSED. NO LUMINAIRE SHALL EMIT ANY DIRECT LIGHT ABOVE ITS HORIZONTAL PLANE	COMPLIES
§ 165-81 C.2.C	NO FLOOD OR SPOT LUMINAIRE SHALL BE AIMED, DIRECTED OR FOCUSED TOWARD ANY ADJACENT OR NEARBY RESIDENTIAL PARCEL	COMPLIES
§ 165-81 C.2.F	MAXIMUM POLE HEIGHT: 25 FT	20 FT

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	1	SLICE MEDIUM OUTDOOR LED AREA LIGHT	TYPE V	0.9	LSI LIGHTING	SUM-LED-12L-SIL-SW-30-70CRLIES
	B	9	EDGE SERIES - OUTDOOR LED WALLPACK	TYPE V	0.9	CREE LIGHTING	ARE-EDG-4M-XX-06-E-UL-XX-525-XXXX-40K-IES

SYMBOL	DESCRIPTION
	PROPOSED CALCULATION AREA
	PROPOSED ISOMETRIC LINE
	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

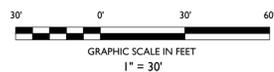
GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



CONTRACTOR SHALL REVIEW AND RELAMP CANOPY LIGHTING AS REQUIRED

EXISTING AREA LIGHTS TO REMAIN AND BE RELAMPED AS DEEMED NECESSARY (TYPICAL)



NO.	DATE	ISSUE	BY	DESCRIPTION
1	10/06/2025	AB	AB	FOR MUNICIPAL RESUBMISSION
0	07/18/2025	AB	AB	FOR MUNICIPAL SUBMISSION

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engineering & design

Rutherford, NJ · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Birmingham, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 842, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

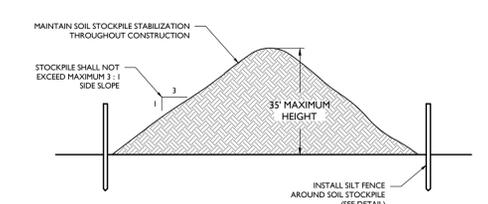
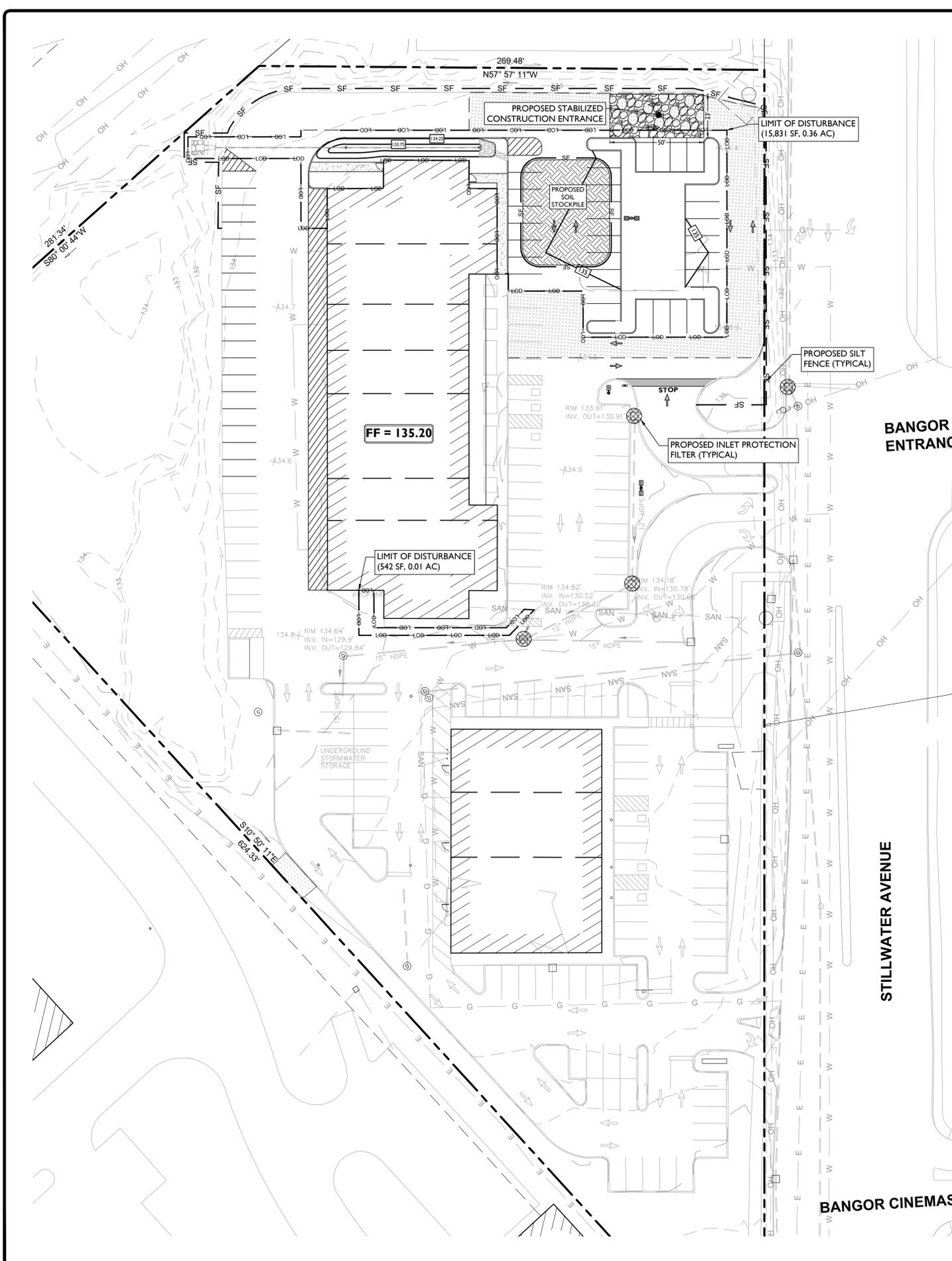
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
LIGHTING PLAN

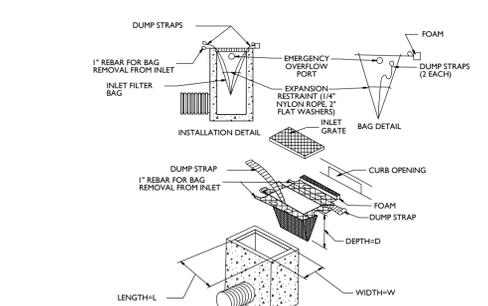
DRAWING:
C-7

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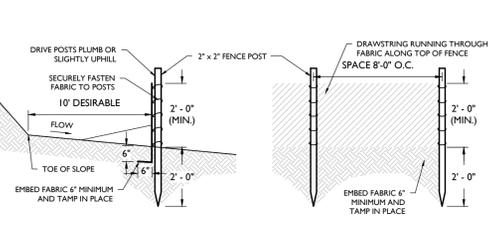


NOTES:
 1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL



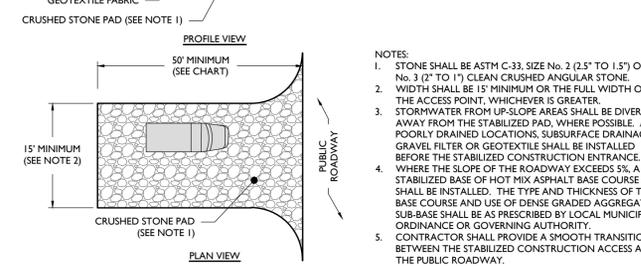
INLET FILTER BAG DETAIL



NOTES:
 1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 2. GEOTEXTILE FABRIC TO BE EMBEDDED 4" (MIN.) AND TAMP IN PLACE.
 3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 4. SET SILT FENCE WITHIN PROJECT LIMITS. 10' IS DESIRABLE.

SILT FENCE DETAIL

SLOPE OF PUBLIC ROADWAY (SEE CHART)	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	



STABILIZED CONSTRUCTION ACCESS DETAIL

NOTES:
 1. STONE SHALL BE ASTM C-33, SIZE NO. 2 (2.5" TO 1.5") OR NO. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
 2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
 3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
 4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
 5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

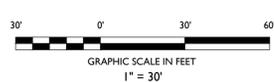
SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER
---	PROPOSED GEOTEXTILE FILTER FABRIC

SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



Know what's below
Call before you dig.



DATE	BY	DESCRIPTION
10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
07/18/2025	AB	FOR MUNICIPAL SUBMISSION
0		ISSUE

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SITE PLAN SET

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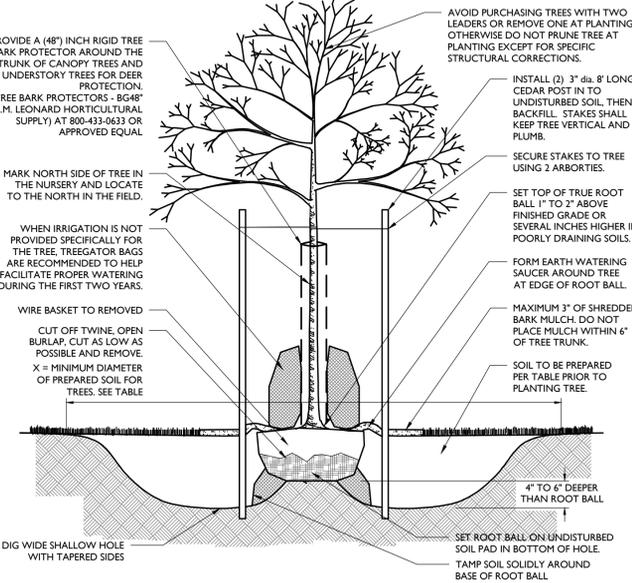
TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING:
C-8

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NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX

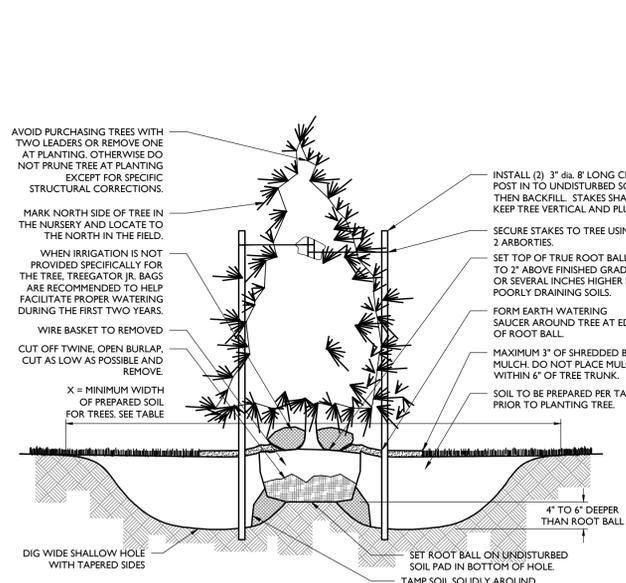


DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

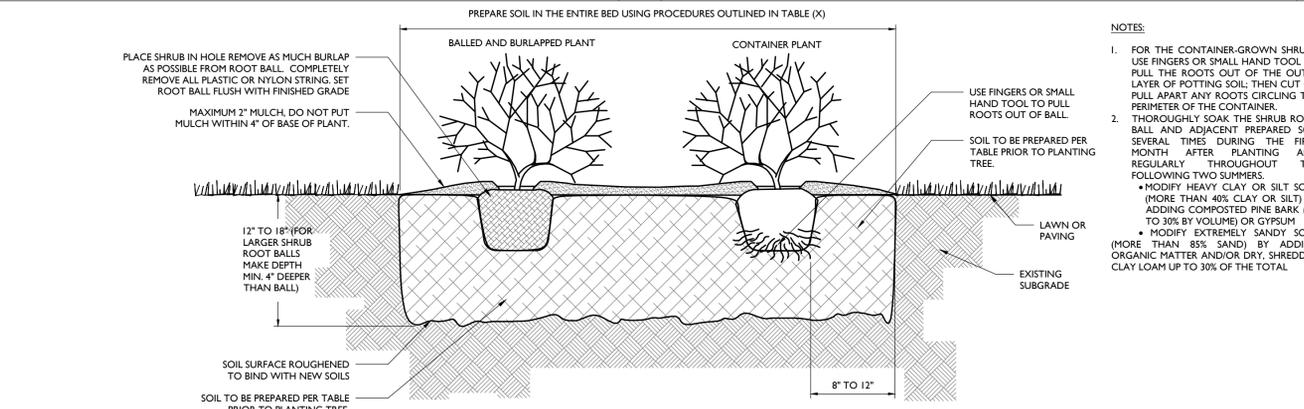
NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

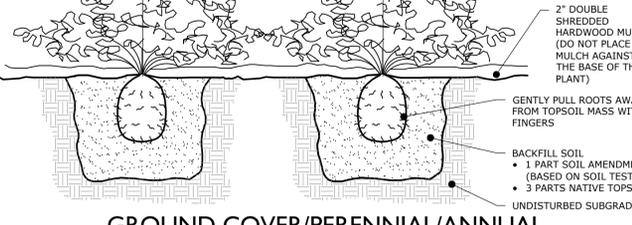
NOT TO SCALE

- NOTES:**
- THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS

SPACING CHART
NOT TO SCALE

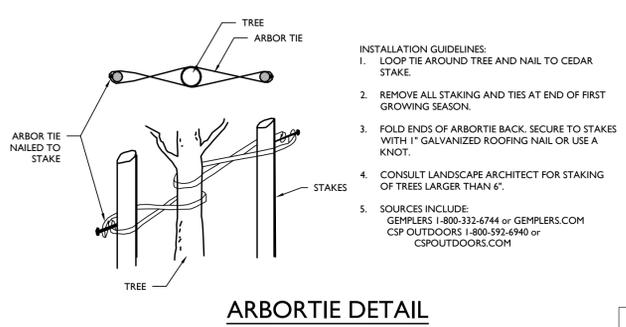
SPACING "D"	ROW "A"
6" O.C.	5.20'
8" O.C.	6.93'
10" O.C.	8.66'
12" O.C.	10.40'
15" O.C.	13.00'
18" O.C.	15.60'
24" O.C.	20.80'
30" O.C.	26.00'
36" O.C.	30.00'

PLANTED ON CENTER (SEE SPACING CHART)



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE



ARBORTIE DETAIL

NOT TO SCALE



IRRIGATION DURING ESTABLISHMENT

SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS
2"-4" CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS
4" > CALIPER	DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR FOUR TO FIVE MONTHS

- TABLE NOTES:**
- AT EACH IRRIGATION APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL, DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
 - WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER, NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
 - WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

GENERAL LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENT OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
- IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
- UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
- THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIPLINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED TREE PROTECTION DETAILS. NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
- IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIPLINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") FROM APPROXIMATELY TWO INCHES (2") ABOVE THE FINISHED GRADE AT TREE TRUNK. GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WALL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WALL DETAIL."
 - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
- BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SOIL SPECIFICATION" OR "SOIL SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WIND-ERODIBLE ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SAND, STONES, PEBBLES, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL, GREATER THAN ONE INCH (1").
- TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
- OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
- DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
- WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
- SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
- APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
- ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
 - MYCORRHIZAL FUNGI: A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
 - DIRECTIONS FOR USE: 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER, MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - MYCORRHIZAL FUNGI: EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

MYCORRHIZAL FUNGI - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS.

- IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
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- OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

HEALTHY START MACRO TABS 12-8-8

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR SLOW RELEASE OF NUTRIENTS AND LAST UP TO 2 YEARS AFTER PLANTING.
- TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PERINYL BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

PLANT MATERIAL AND HANDLING NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
- ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
- THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREVIOUSLY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEEL-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- ALL PLANTS TO BE TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DELIVERY, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED OR COMPOSTED MULCH. PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
- PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
- IF ROCKS OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REMOVE OR ENLARGE PLANTING HOLES TO ACCOMMODATE THE PLANTS.
- IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
- INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
 - THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPORT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
 - ABIES CONCOLOR
 - ACER BUEBERIANUM
 - ACER FRAXINOSUM
 - ACER RUBRUM
 - ACER SACCHARINUM
 - BETULA VARIETIES
 - CARPINUS VARIETIES
 - CEDRUS DEODARA
 - CELTIS VARIETIES
 - CERCIDIPHYLLUM VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - NYSSA SYLVATICA
 - Ostrya virginiana
 - Pinus nigra
 - Platanus varieties
 - Populus varieties
 - Prunus varieties
 - Pyrus varieties
 - Quercus varieties (NOT Q. PALUSTRIS)
 - Salix weeping varieties
 - Taxodium varieties
 - Taxus b. repandens
 - Tilia tomentosa varieties
 - Ulmus parvifolia varieties
 - Zelkova varieties
- IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FINAL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
- THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
- MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO: REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYNS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DIRECTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
- GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
- SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
- LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH BY MEANS OF A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
- THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
- IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

PLANT MATERIAL GUARANTEE NOTES:

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
- ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND FOR USE FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURING THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.
- REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD.
- SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION".
- PROTECT LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

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THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION

SITE PLAN SET

MAP R42, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE NO. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: BOS-22049

TITLE:
LANDSCAPING DETAILS

DRAWING:

C-10

N O T
A N

N O T
A N

3. ~~RIGHTS and easements granted to Bangor Hydro Electric Company in an instrument dated July 13, 2000 and recorded in the Registry in Book 7459, Page 173~~

N O T

N O T

4. ~~Grading Rights, Access Rights, and Control of Access acquired by the State of Maine by its Department of Transportation by virtue of Notice of Layout and Taking dated December 15, 1999 and recorded in the Registry in Book 7287, Page 2210.~~

5. Tenants in possession under unrecorded leases.

For source of title reference is made to a warranty deed from Barbara R. Philbrick to Craig D. Oliver and E. Jean Oliver dated October 26, 1984 and recorded in the Penobscot County Registry of Deeds in Book 3592, Page 157 with additional reference to a quitclaim deed from Craig D. Oliver to E. Jean Oliver dated August 5, 1994 and recorded in said Registry in Book 5691, Page 109.

WITNESS my hand and seal this 10th day of July, 2017.

WITNESS:

[Signature]

By: [Signature]
E. Jean Oliver

STATE OF Maine
COUNTY OF Cumberland

July 10, 2017

Personally appeared the above-named E. Jean Oliver and acknowledged before me the foregoing instrument to be her free act and deed.

Before me,

[Signature]
~~Notary Public/Attorney-at-Law~~
Print Name: Bonnie L. Martindich
Commission Expires: _____
(Affix Notarial Seal)



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

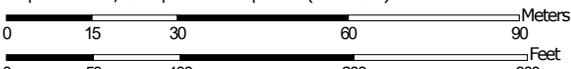
Custom Soil Resource Report for Penobscot County, Maine, Southern Part



Custom Soil Resource Report Soil Map



Map Scale: 1:1,320 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Penobscot County, Maine, Southern Part
 Survey Area Data: Version 10, Aug 26, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 11, 2021—Oct 29, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
PuB	Pushaw-Swanville-Urban land association, 0 to 8 percent slopes	2.4	52.4%
UrB	Urban land-Anthroportic Udorthents complex, 0 to 8 percent slopes	2.2	47.6%
Totals for Area of Interest		4.6	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The

Custom Soil Resource Report

delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Penobscot County, Maine, Southern Part

PuB—Pushaw-Swanville-Urban land association, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: 11s77
Elevation: 20 to 300 feet
Mean annual precipitation: 39 to 45 inches
Mean annual air temperature: 42 to 45 degrees F
Frost-free period: 115 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Pushaw and similar soils: 35 percent
Swanville and similar soils: 30 percent
Urban land: 20 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Pushaw

Setting

Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Linear
Across-slope shape: Convex
Parent material: Fine-silty glaciomarine deposits

Typical profile

Ap - 0 to 7 inches: silt loam
Bw - 7 to 15 inches: silt loam
BCg - 15 to 18 inches: silt loam
C - 18 to 65 inches: silty clay loam

Properties and qualities

Slope: 3 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low (0.01 to 0.14 in/hr)
Depth to water table: About 6 to 17 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: High (about 9.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2w
Hydrologic Soil Group: C/D
Ecological site: F144BY401ME - Clay Flat
Hydric soil rating: No

Description of Swanville

Setting

Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Fine-silty glaciomarine deposits

Typical profile

Ap - 0 to 6 inches: silt loam
Bg - 6 to 18 inches: silt loam
BCg - 18 to 24 inches: silt loam
C - 24 to 65 inches: silty clay loam

Properties and qualities

Slope: 0 to 5 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low (0.01 to 0.14 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: High (about 10.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: D
Ecological site: F144BY001ME - Marine Terrace Flat, F144BY304ME - Wet Clay Flat, F144BY401ME - Clay Flat
Hydric soil rating: Yes

Description of Urban Land

Setting

Landform: — error in exists on —
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydric soil rating: Unranked

Minor Components

Telos

Percent of map unit: 5 percent
Landform: River valleys
Landform position (two-dimensional): Backslope, footslope
Landform position (three-dimensional): Base slope

Custom Soil Resource Report

Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Anthroportic udorthents

Percent of map unit: 5 percent
Landform: Marine terraces, river valleys
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Boothbay

Percent of map unit: 5 percent
Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope, backslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

UrB—Urban land-Anthroportic Udorthents complex, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: sw80
Elevation: 20 to 1,200 feet
Mean annual precipitation: 39 to 45 inches
Mean annual air temperature: 42 to 45 degrees F
Frost-free period: 115 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Urban land: 70 percent
Anthroportic udorthents and similar soils: 15 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Urban Land

Setting

Landform: Ground moraines, marine terraces
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydric soil rating: Unranked

Description of Anthropotic Udorthents

Setting

Landform: Ground moraines, marine terraces
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy till

Typical profile

^A - 0 to 30 inches: silt loam
C - 30 to 65 inches: gravelly silt loam

Properties and qualities

Slope: 0 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Moderately well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to very high (0.01 to 99.90 in/hr)
Depth to water table: About 24 to 39 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: Moderate (about 7.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydrologic Soil Group: C
Ecological site: F144BY501ME - Loamy Slope (Northern Hardwoods)
Hydric soil rating: No

Minor Components

Tunbridge

Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Summit, shoulder
Landform position (three-dimensional): Base slope
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

Pushaw

Percent of map unit: 3 percent
Landform: River valleys, marine terraces
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Linear
Across-slope shape: Convex
Hydric soil rating: No

Custom Soil Resource Report

Telos

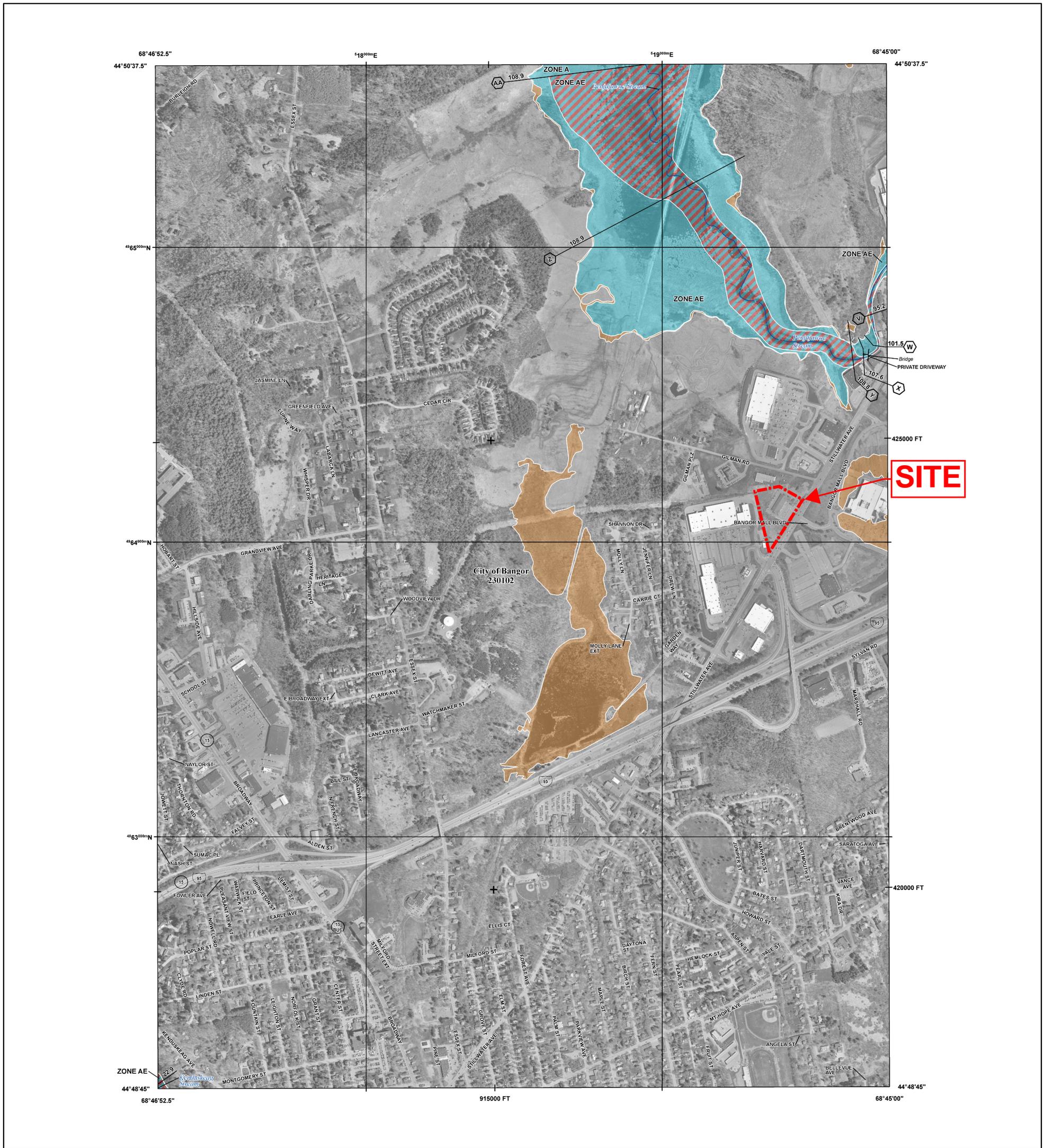
Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Backslope, footslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Swanville

Percent of map unit: 3 percent
Landform: River valleys, marine terraces
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: F144BY001ME - Marine Terrace Flat
Hydric soil rating: Yes

Chesuncook

Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No



FLOOD HAZARD INFORMATION

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT
THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT [HTTPS://MSC.FEMA.GOV](https://MSC.FEMA.GOV)

	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway
	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee See Notes. Zone X
	Area with Flood Risk due to Levee Zone D
	NO SCREEN Area of Minimal Flood Hazard Zone X
	Area of Undetermined Flood Hazard Zone D
	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
	Cross Sections with 1% Annual Chance Water Surface Elevation
	Coastal Transect
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary

NOTES TO USERS

For information and questions about this Flood Insurance Rate Map (FIRM), available products associated with this FIRM, including historic versions, the current map date for each FIRM panel, how to order products, or the National Flood Insurance Program (NFIP) in general, please call the FEMA Mapping and Insurance eXchange at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA Flood Map Service Center website at <https://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website.

Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM index. These may be ordered directly from the Flood Map Service Center at the number listed above.

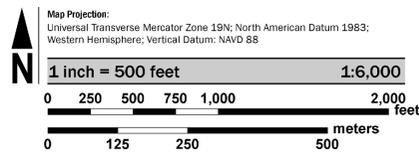
For community and countywide map dates refer to the Flood Insurance Study Report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

The map reflects more detailed and up-to-date stream channel configurations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables may reflect stream channel distances that differ from what is shown on the map.

Base map information shown on this FIRM was provided by the Maine Geolibary, dated 2014; the Office of Information Technology, Maine Office of GIS, dated 2017; and the U.S. Geological Survey, dated 2018.

SCALE



PANEL LOCATOR

2106	2107	2126	2127
2104	2108	2109	2128
2112	2116	2117	2136

National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM
 FLOOD INSURANCE RATE MAP

PENOBSCOT COUNTY, MAINE
 (All Jurisdictions)

PANEL 2109 OF 2356

Panel Contains:
 COMMUNITY BANGOR, CITY OF

NUMBER 230102
 PANEL 2109
 SUFFIX D

FEMA

VERSION NUMBER 2.6.4.6
 MAP NUMBER 23019C2109D
 EFFECTIVE DATE JULY 19, 2023



STORMWATER MANAGEMENT STATEMENT

Project: Proposed Multi-Tenant Development Plans
Map R62, Lot I
570 Stillwater Avenue
City of Bangor, Penobscot County, Maine

Dated: October 8, 2025

Reference: **Site Plan**
(Prepared by Stonefield Engineering & Design, LLC, dated October 6, 2025)

PROJECT DESCRIPTION

Alrig is proposing a parking lot expansion of the subject property. The subject property is located across the Bangor Mall along Stillwater Avenue in the City of Bangor, Penobscot County, Maine. The subject property is designated as Map R62, Lot 001, commonly known as 570 Stillwater Avenue, Bangor, Maine. The existing site contains a single floor multi-tenant building operating with various commercial uses with existing access via one (1) signalized full movement driveway and one (1) right-in/right-out driveway along Stillwater Avenue. It is important to note that under the proposed parking lot expansion, the existing access would be maintained and the commercial building footprint would be marginally reduced. The site location is depicted in the Aerial Map within the **Appendix A**.

The total project area is 15,831 SF (0.36 acres), the total area of impervious surfaces has decreased by 3,065 SF (0.07 acres), and the total area of disturbance is 15,831 SF (0.36 acres).

This Stormwater Management Statement has been prepared to analyze the drainage measures to be implemented for controlling and conveying runoff associated with the on-site improvements and has been prepared in accordance with the standards of the City of Bangor and the Maine Department of Environmental Protection Standards.

ON-SITE SOILS

According to the Penobscot County Soil Survey as issued by the Natural Resources Conservation Services, the soils on-site consist of 52.4% Pushaw-Swanville-Urban land (PuB) which has a hydrologic soil rating of C/D and 47.6% Urban Land-Anthroportic Udorthents (UrB) which has a hydrologic soil rating of C.

The project area, outlined in the Drainage Area Maps within Appendix A, consists of 100% Urban Land-Anthroportic Udorthents (UrB) which has a hydrologic soil rating of C.

PRE-DEVELOPMENT DRAINAGE CONDITIONS

Under current conditions, the project site is divided into two (2) drainage areas. POI-1 sheet flows along Stillwater Avenue into the catch basins that are part of the City of Bangor stormwater conveyance system. POI-2 conveys stormwater from the overland flow into the on-site catch basin which connects to the on-site subsurface pipe and stone storage system, before ultimately discharging into the City of Bangor stormwater management system.

TABLE 1: PRE-DEVELOPMENT DRAINAGE AREA

Drainage Area	Description	Area Extents	Impervious Area	Time of Concentration
E-1	Existing Drainage to Stillwater Avenue	11,539 SF	9,894 SF	6.0*
E-2	Existing Drainage to Parking Lot	4,292 SF	3,872 SF	6.0*

*A minimum time of concentration of 6.0 minutes was assumed for the purposes of these calculations.

Existing hydrologic calculations can be found in **APPENDIX A** of this Statement.

POST-DEVELOPED DRAINAGE CONDITIONS

Under proposed conditions, the general drainage patterns and ultimate Points of Interest will be maintained or be improved upon while meeting SLODA stormwater treatment requirements through the proposed on-site bioretention system. The intent behind the proposed delineations is to meet stormwater treatment requirements by promoting drainage into the proposed bioretention system while reducing the amount impervious coverage on-site. The majority of the parcel shall remain tributary to the on-site stormwater management system with the remainder sheet flowing and being captured within the City of Bangor municipal stormwater conveyance system. See below for a short summary of each area:

TABLE 2: POST-DEVELOPMENT DRAINAGE AREA

Drainage Area	Description	Area Extents	Impervious Area	Time of Concentration
P-1	Proposed Drainage to Stillwater Avenue	5,670 SF	3,534 SF	6.0*
P-2	Proposed Drainage to Bioretention Cell	5,905 SF	4,198 SF	6.0*
P-3	Proposed Drainage to Parking Lot	4,256 SF	2,969 SF	6.0*

*A minimum time of concentration of 6.0 minutes was assumed for the purposes of these calculations.

Proposed hydrologic calculations can be found in **APPENDIX A** of this Statement.

STORMWATER MANAGEMENT ANALYSIS

The stormwater management design intent for the project is to ensure that the post-construction drainage patterns match or improve upon the previously approved development while reducing the overall sheet flow onto Stillwater Avenue, reducing overall impervious surface area, and meeting stormwater treatment requirements through the bioretention cell. The project is designed to conform to the stormwater management requirements set forth by the MaineDEP and the City of Bangor.

PROJECT SOILS

Per the National Resource Conservation Service (NRCS) data, the soil underlying the project site consists of:

TABLE 3: NRCS PROJECT SOILS

Soil Unit Code	Soil Description	Approximate Project Coverage	Hydrologic Soil Group
UrB	Urban land-Anthroportic Udorthents complex, 0 to 8 percent slopes	100%	C

The hydrologic soil group classifications above have been utilized in the landcover data for the stormwater analysis performed on the project. Please refer to the NRCS Soil Report located in Appendix A.

EROSION CONTROL

A Soil Erosion & Sediment Control Plan has been prepared in accordance with the latest edition of the Standards for Soil Erosion and Sediment Control in Massachusetts. Proposed temporary measures during construction include silt fencing, stabilized construction entrances, inlet protection filters, and a soil stockpile.

CONCLUSION

As demonstrated in this report, the volume generated by the proposed redevelopment will be satisfactorily mitigated by the reduction in impervious cover and on-site bioretention cell. The proposed project complies with all applicable stormwater management regulations and standards. As such, the project is not anticipated to have any adverse drainage impacts on neighboring properties, downstream watercourses, or adjoining conveyance systems.

Prepared by:

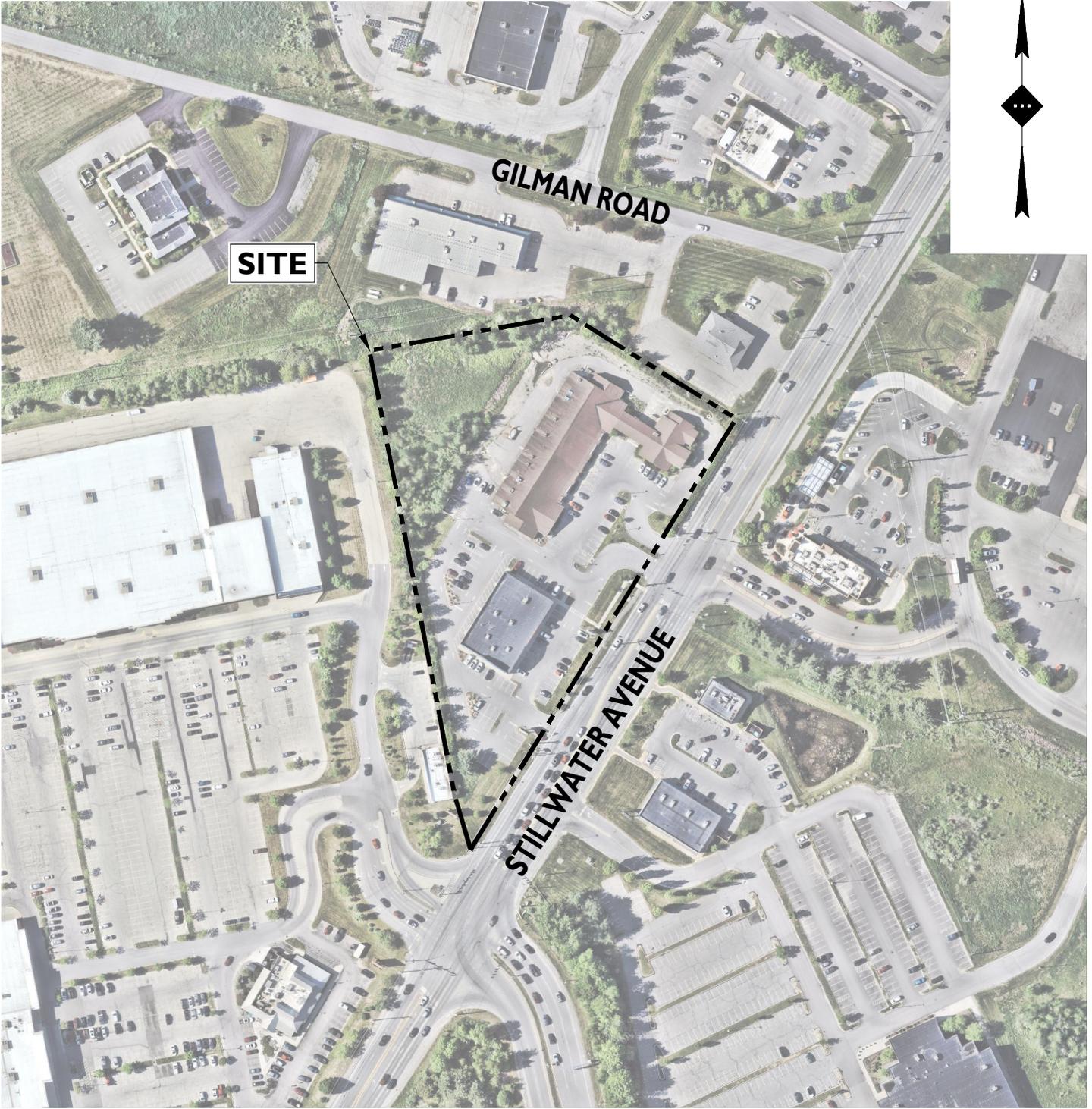


Joshua Kline, PE, PP

ME PE License No. 16648

Stonefield Engineering and Design, LLC

APPENDIX A
PROJECT MAPS
NRCS SOIL SURVEY
HYDROLOGIC CALCULATIONS AND ANALYSIS
DRAINAGE AREA MAPS



GRAPHIC SCALE IN FEET

1" = 200'

AERIAL MAP

SOURCE: AERIAL MAP RETRIEVED FROM NEARMAP OCTOBER 14, 2025

THE AVENUE DEVELOPMENT

PROPOSED PARKING LOT EXPANSION

MAP R62, LOT 1
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

DRAWN BY:	AB
CHECKED BY:	JK
DATE:	10/14/2025
SCALE:	1" = 200'
PROJECT ID:	BOS-220049



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United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Penobscot County, Maine, Southern Part

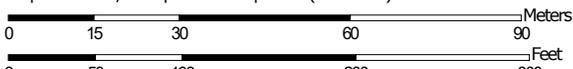


Custom Soil Resource Report Soil Map



Soil Map may not be valid at this scale.

Map Scale: 1:1,320 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Penobscot County, Maine, Southern Part
 Survey Area Data: Version 10, Aug 26, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 11, 2021—Oct 29, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
PuB	Pushaw-Swanville-Urban land association, 0 to 8 percent slopes	2.4	52.4%
UrB	Urban land-Anthroportic Udorthents complex, 0 to 8 percent slopes	2.2	47.6%
Totals for Area of Interest		4.6	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The

Custom Soil Resource Report

delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Penobscot County, Maine, Southern Part

PuB—Pushaw-Swanville-Urban land association, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: 11s77
Elevation: 20 to 300 feet
Mean annual precipitation: 39 to 45 inches
Mean annual air temperature: 42 to 45 degrees F
Frost-free period: 115 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Pushaw and similar soils: 35 percent
Swanville and similar soils: 30 percent
Urban land: 20 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Pushaw

Setting

Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Linear
Across-slope shape: Convex
Parent material: Fine-silty glaciomarine deposits

Typical profile

Ap - 0 to 7 inches: silt loam
Bw - 7 to 15 inches: silt loam
BCg - 15 to 18 inches: silt loam
C - 18 to 65 inches: silty clay loam

Properties and qualities

Slope: 3 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low (0.01 to 0.14 in/hr)
Depth to water table: About 6 to 17 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: High (about 9.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2w
Hydrologic Soil Group: C/D
Ecological site: F144BY401ME - Clay Flat
Hydric soil rating: No

Custom Soil Resource Report

Description of Swanville

Setting

Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Fine-silty glaciomarine deposits

Typical profile

Ap - 0 to 6 inches: silt loam
Bg - 6 to 18 inches: silt loam
BCg - 18 to 24 inches: silt loam
C - 24 to 65 inches: silty clay loam

Properties and qualities

Slope: 0 to 5 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low (0.01 to 0.14 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: High (about 10.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: D
Ecological site: F144BY001ME - Marine Terrace Flat, F144BY304ME - Wet Clay Flat, F144BY401ME - Clay Flat
Hydric soil rating: Yes

Description of Urban Land

Setting

Landform: — error in exists on —
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydric soil rating: Unranked

Minor Components

Telos

Percent of map unit: 5 percent
Landform: River valleys
Landform position (two-dimensional): Backslope, footslope
Landform position (three-dimensional): Base slope

Custom Soil Resource Report

Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Anthroportic udorthents

Percent of map unit: 5 percent
Landform: Marine terraces, river valleys
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Boothbay

Percent of map unit: 5 percent
Landform: Marine terraces, river valleys
Landform position (two-dimensional): Toeslope, backslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

UrB—Urban land-Anthroportic Udorthents complex, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: sw80
Elevation: 20 to 1,200 feet
Mean annual precipitation: 39 to 45 inches
Mean annual air temperature: 42 to 45 degrees F
Frost-free period: 115 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Urban land: 70 percent
Anthroportic udorthents and similar soils: 15 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Urban Land

Setting

Landform: Ground moraines, marine terraces
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydric soil rating: Unranked

Description of Anthropotic Udorthents

Setting

Landform: Ground moraines, marine terraces
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy till

Typical profile

^A - 0 to 30 inches: silt loam
C - 30 to 65 inches: gravelly silt loam

Properties and qualities

Slope: 0 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Moderately well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to very high (0.01 to 99.90 in/hr)
Depth to water table: About 24 to 39 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: Moderate (about 7.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8s
Hydrologic Soil Group: C
Ecological site: F144BY501ME - Loamy Slope (Northern Hardwoods)
Hydric soil rating: No

Minor Components

Tunbridge

Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Summit, shoulder
Landform position (three-dimensional): Base slope
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

Pushaw

Percent of map unit: 3 percent
Landform: River valleys, marine terraces
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Side slope, base slope, rise
Down-slope shape: Linear
Across-slope shape: Convex
Hydric soil rating: No

Custom Soil Resource Report

Telos

Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Backslope, footslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Swanville

Percent of map unit: 3 percent
Landform: River valleys, marine terraces
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: F144BY001ME - Marine Terrace Flat
Hydric soil rating: Yes

Chesuncook

Percent of map unit: 3 percent
Landform: Ground moraines
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No



Existing Undetained
Drainage to Stillwater
Avenue



Existing Drainage to
Catch Basin



Sheet Flow



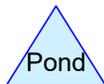
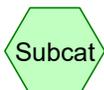
Proposed Drainage to
Bioretention Basin



Proposed Drainage to
Catch Basin



Bioretention Basin



Time span=0.00-72.00 hrs, dt=0.02 hrs, 3601 points
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv.
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

SubcatchmentE-1: Existing Undetained Runoff Area=11,539 sf 85.74% Impervious Runoff Depth=2.28"
Tc=6.0 min CN=80/98 Runoff=0.77 cfs 2,196 cf

SubcatchmentE-2: Existing Drainage to Runoff Area=4,292 sf 90.21% Impervious Runoff Depth=2.35"
Tc=6.0 min CN=80/98 Runoff=0.29 cfs 840 cf

SubcatchmentP-1: Sheet Flow Runoff Area=5,670 sf 62.33% Impervious Runoff Depth=2.17"
Tc=6.0 min CN=89/98 Runoff=0.37 cfs 1,027 cf

SubcatchmentP-2: Proposed Drainage to Runoff Area=5,905 sf 71.09% Impervious Runoff Depth=2.07"
Tc=6.0 min CN=80/98 Runoff=0.36 cfs 1,019 cf

SubcatchmentP-3: Proposed Drainage to Runoff Area=4,256 sf 69.76% Impervious Runoff Depth=2.05"
Tc=6.0 min CN=80/98 Runoff=0.26 cfs 728 cf

Pond B-1: Bioretention Basin Peak Elev=134.00' Storage=103 cf Inflow=0.36 cfs 1,019 cf
15.0" Round Culvert n=0.010 L=25.0' S=0.0100 '/' Outflow=0.29 cfs 1,019 cf

Total Runoff Area = 31,662 sf Runoff Volume = 5,810 cf Average Runoff Depth = 2.20"
22.72% Pervious = 7,195 sf 77.28% Impervious = 24,467 sf

Summary for Subcatchment E-1: Existing Undetained Drainage to Stillwater Avenue

Runoff = 0.77 cfs @ 12.13 hrs, Volume= 2,196 cf, Depth= 2.28"

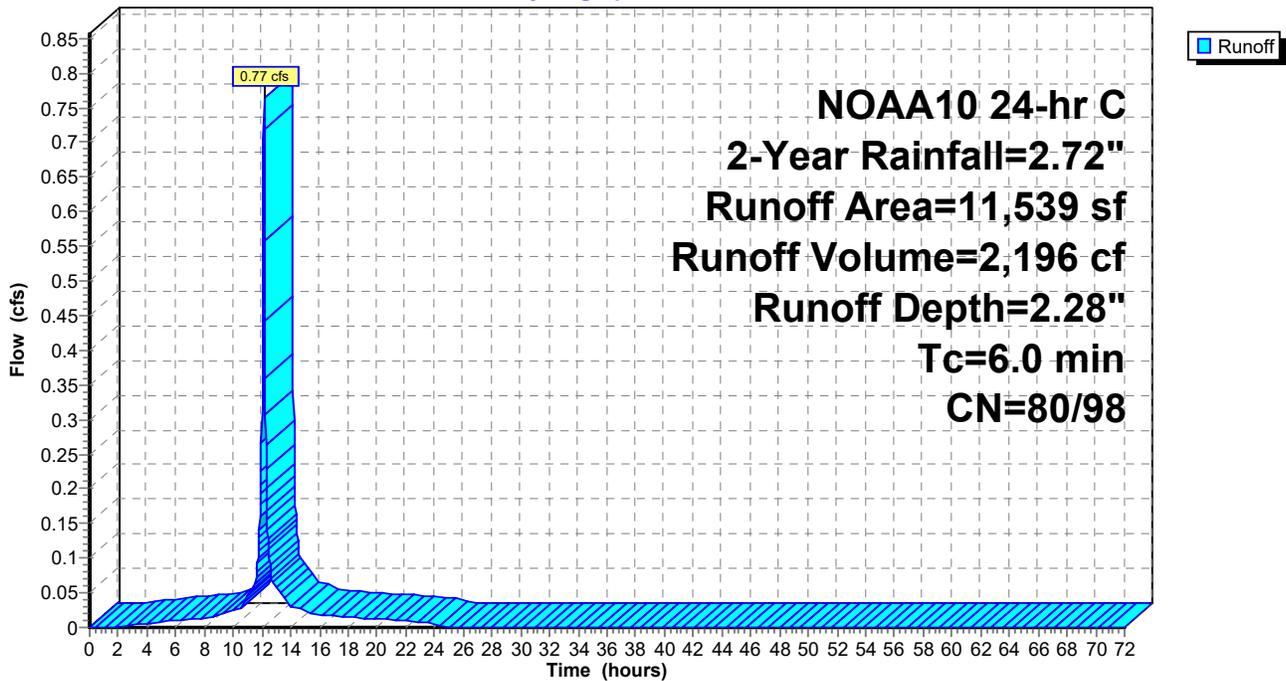
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 NOAA10 24-hr C 2-Year Rainfall=2.72"

Area (sf)	CN	Description
9,894	98	Paved parking, HSG D
1,645	80	>75% Grass cover, Good, HSG D
11,539	95	Weighted Average
1,645	80	14.26% Pervious Area
9,894	98	85.74% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum ToC

Subcatchment E-1: Existing Undetained Drainage to Stillwater Avenue

Hydrograph



Summary for Subcatchment E-2: Existing Drainage to Catch Basin

Runoff = 0.29 cfs @ 12.13 hrs, Volume= 840 cf, Depth= 2.35"

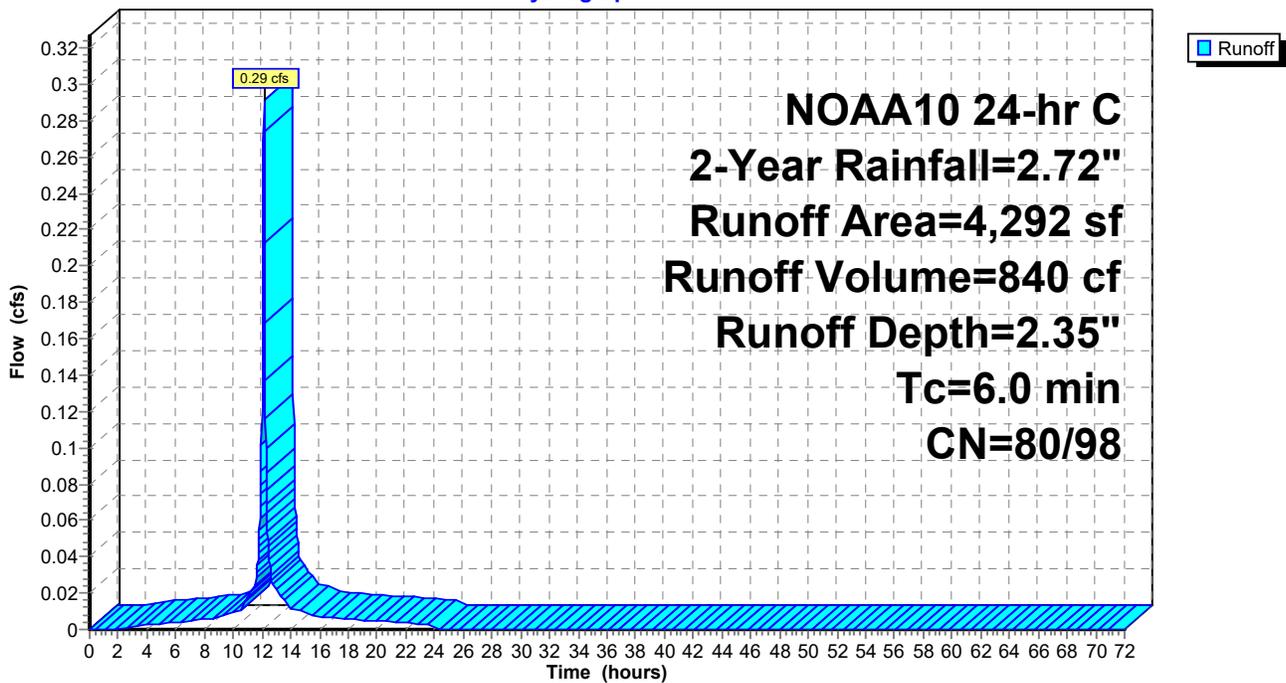
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 NOAA10 24-hr C 2-Year Rainfall=2.72"

Area (sf)	CN	Description
3,872	98	Paved parking, HSG D
420	80	>75% Grass cover, Good, HSG D
4,292	96	Weighted Average
420	80	9.79% Pervious Area
3,872	98	90.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum ToC

Subcatchment E-2: Existing Drainage to Catch Basin

Hydrograph



Summary for Subcatchment P-1: Sheet Flow

Runoff = 0.37 cfs @ 12.13 hrs, Volume= 1,027 cf, Depth= 2.17"

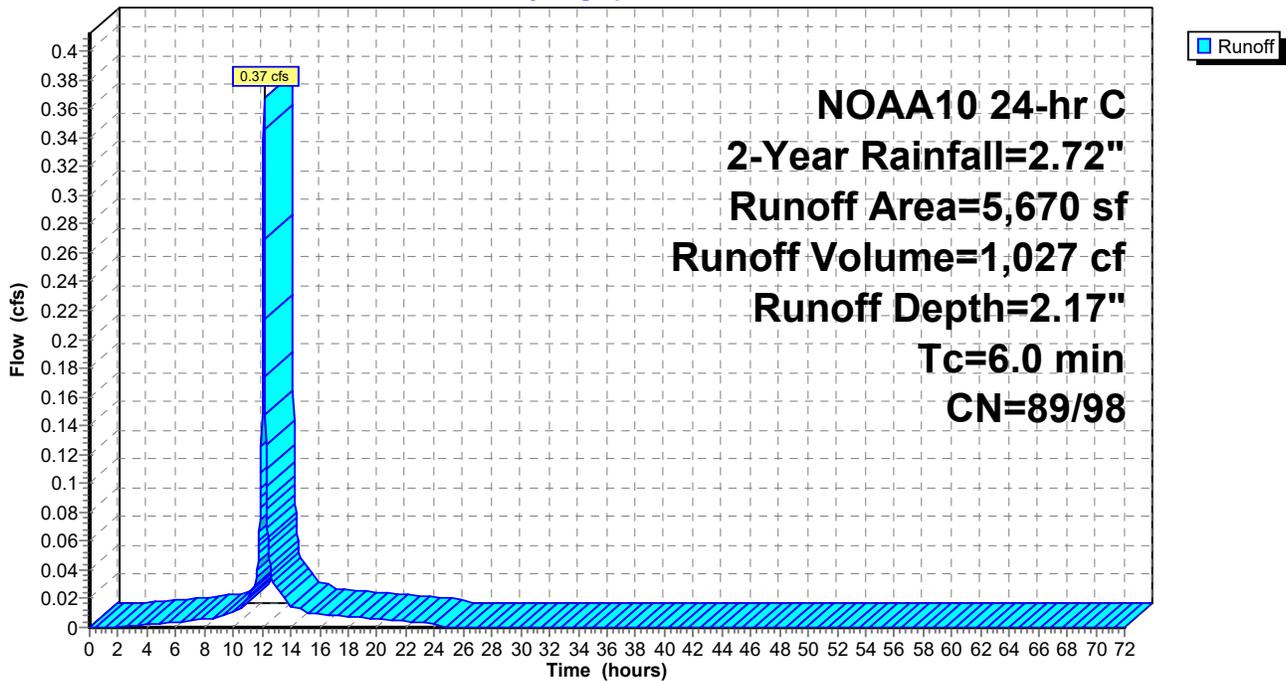
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 NOAA10 24-hr C 2-Year Rainfall=2.72"

Area (sf)	CN	Description
2,136	89	<50% Grass cover, Poor, HSG D
3,534	98	Paved parking, HSG D
5,670	95	Weighted Average
2,136	89	37.67% Pervious Area
3,534	98	62.33% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum ToC

Subcatchment P-1: Sheet Flow

Hydrograph



Summary for Subcatchment P-2: Proposed Drainage to Bioretention Basin

Runoff = 0.36 cfs @ 12.13 hrs, Volume= 1,019 cf, Depth= 2.07"
 Routed to Pond B-1 : Bioretention Basin

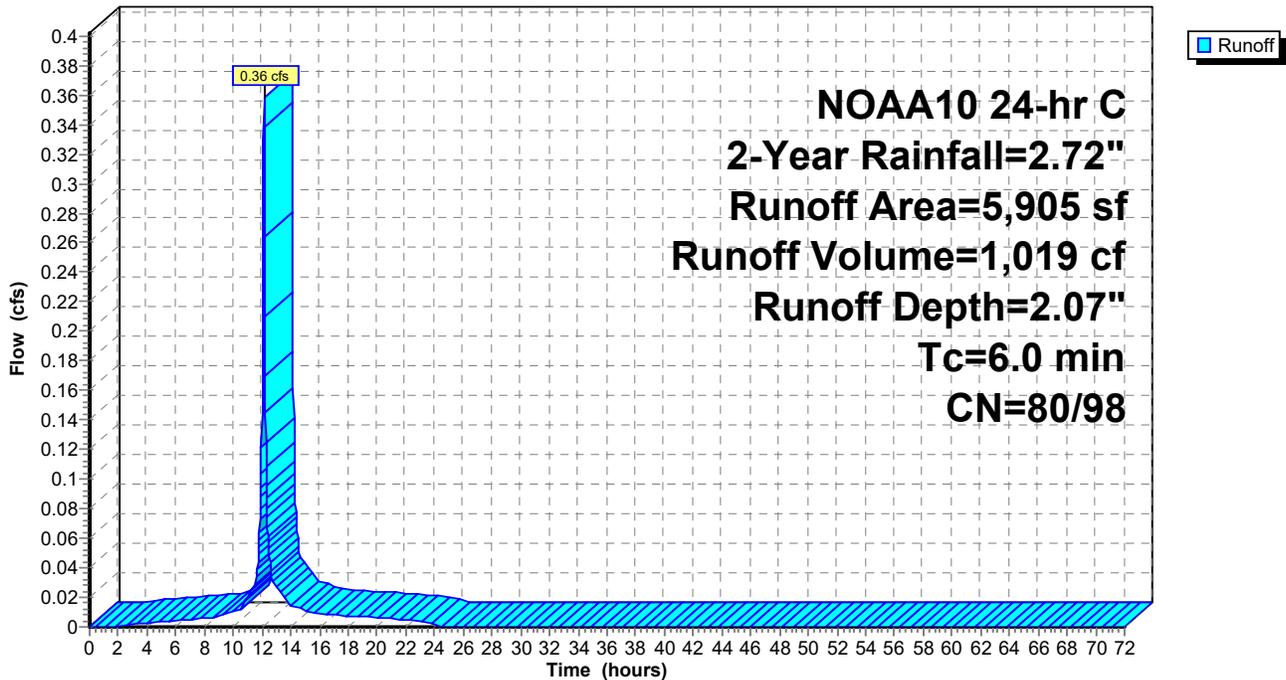
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 NOAA10 24-hr C 2-Year Rainfall=2.72"

Area (sf)	CN	Description
4,198	98	Paved parking, HSG D
1,707	80	>75% Grass cover, Good, HSG D
5,905	93	Weighted Average
1,707	80	28.91% Pervious Area
4,198	98	71.09% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum ToC

Subcatchment P-2: Proposed Drainage to Bioretention Basin

Hydrograph



Summary for Subcatchment P-3: Proposed Drainage to Catch Basin

Runoff = 0.26 cfs @ 12.13 hrs, Volume= 728 cf, Depth= 2.05"

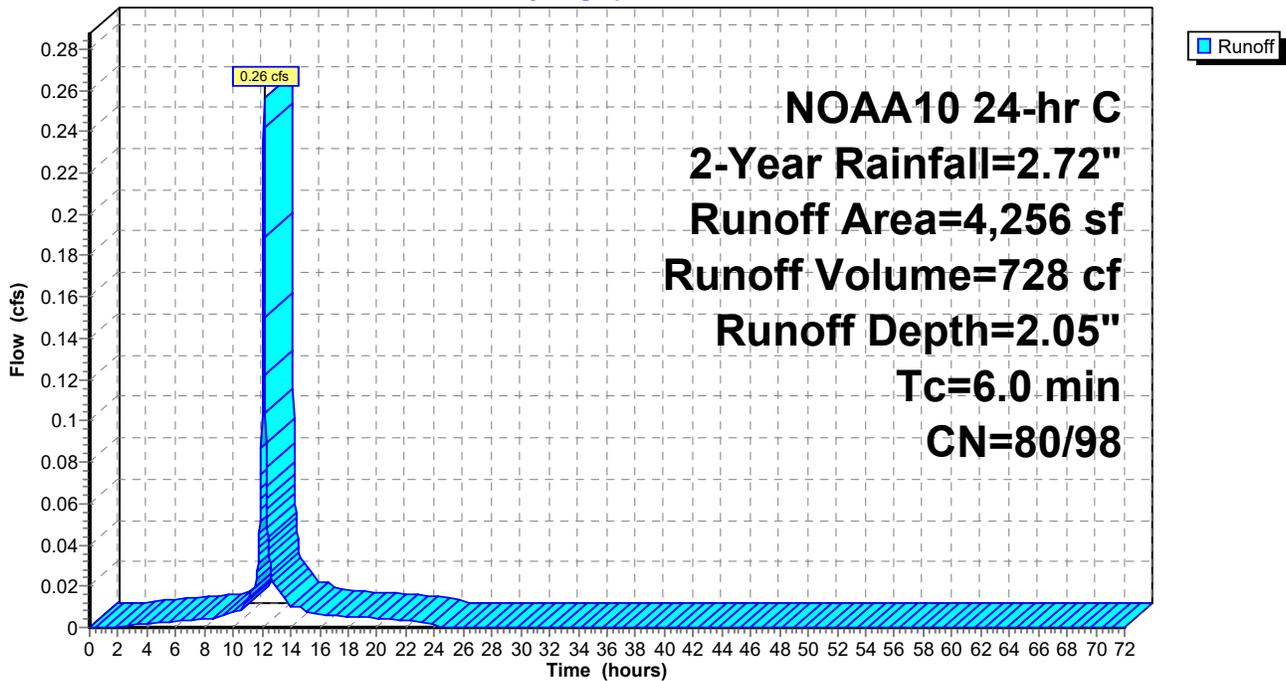
Runoff by SCS TR-20 method, UH=SCS, Split Pervious/Imperv., Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 NOAA10 24-hr C 2-Year Rainfall=2.72"

Area (sf)	CN	Description
2,969	98	Paved parking, HSG D
1,287	80	>75% Grass cover, Good, HSG D
4,256	93	Weighted Average
1,287	80	30.24% Pervious Area
2,969	98	69.76% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum ToC

Subcatchment P-3: Proposed Drainage to Catch Basin

Hydrograph



Summary for Pond B-1: Bioretention Basin

Inflow Area = 5,905 sf, 71.09% Impervious, Inflow Depth = 2.07" for 2-Year event
 Inflow = 0.36 cfs @ 12.13 hrs, Volume= 1,019 cf
 Outflow = 0.29 cfs @ 12.17 hrs, Volume= 1,019 cf, Atten= 19%, Lag= 2.5 min
 Primary = 0.29 cfs @ 12.17 hrs, Volume= 1,019 cf

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.02 hrs
 Peak Elev= 134.00' @ 12.17 hrs Surf.Area= 547 sf Storage= 103 cf

Plug-Flow detention time= 18.4 min calculated for 1,019 cf (100% of inflow)
 Center-of-Mass det. time= 18.7 min (796.9 - 778.2)

Volume	Invert	Avail.Storage	Storage Description			
#1	133.75'	281 cf	Aboveground Detention (Irregular) listed below (Recalc)			
Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)	
133.75	296	167.1	0	0	296	
134.25	881	200.5	281	281	1,277	

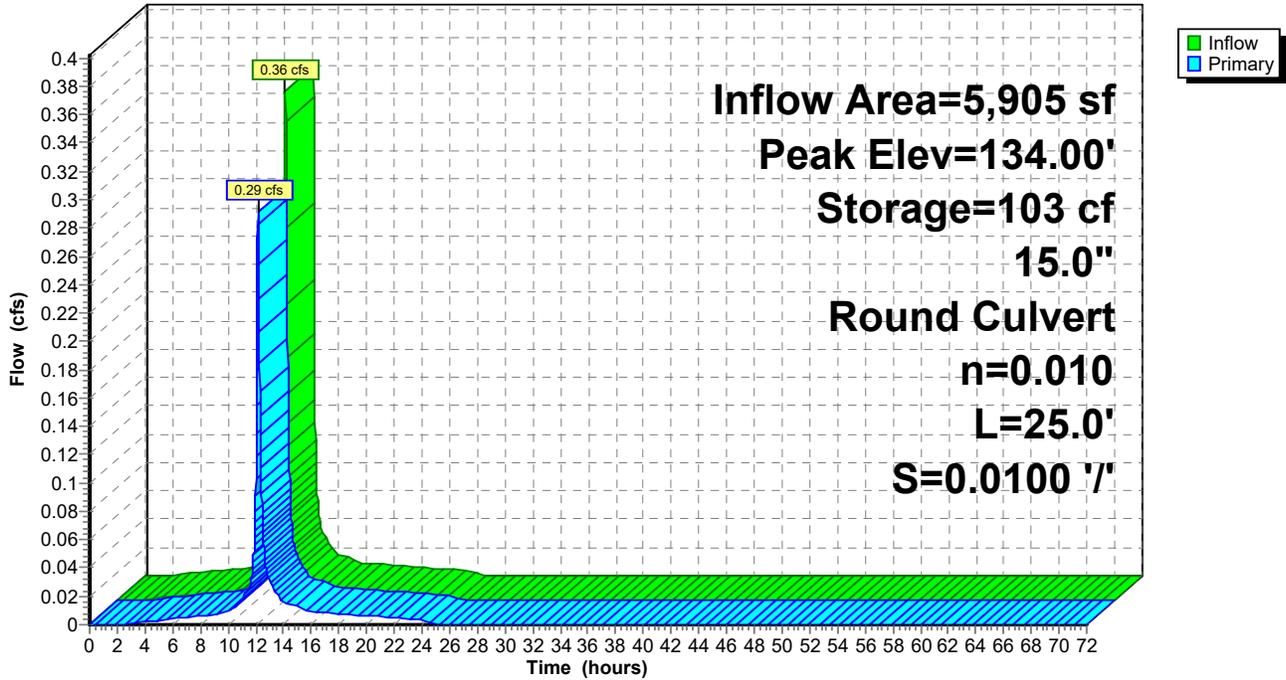
Device	Routing	Invert	Outlet Devices			
#1	Primary	133.75'	15.0" Round Culvert L= 25.0' Ke= 0.500 Inlet / Outlet Invert= 133.75' / 133.50' S= 0.0100 '/' Cc= 0.900 n= 0.010, Flow Area= 1.23 sf			

Primary OutFlow Max=0.29 cfs @ 12.17 hrs HW=134.00' (Free Discharge)

↑ **1=Culvert** (Inlet Controls 0.29 cfs @ 1.69 fps)

Pond B-1: Bioretention Basin

Hydrograph



SYMBOL

DESCRIPTION



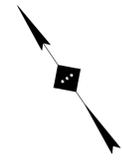
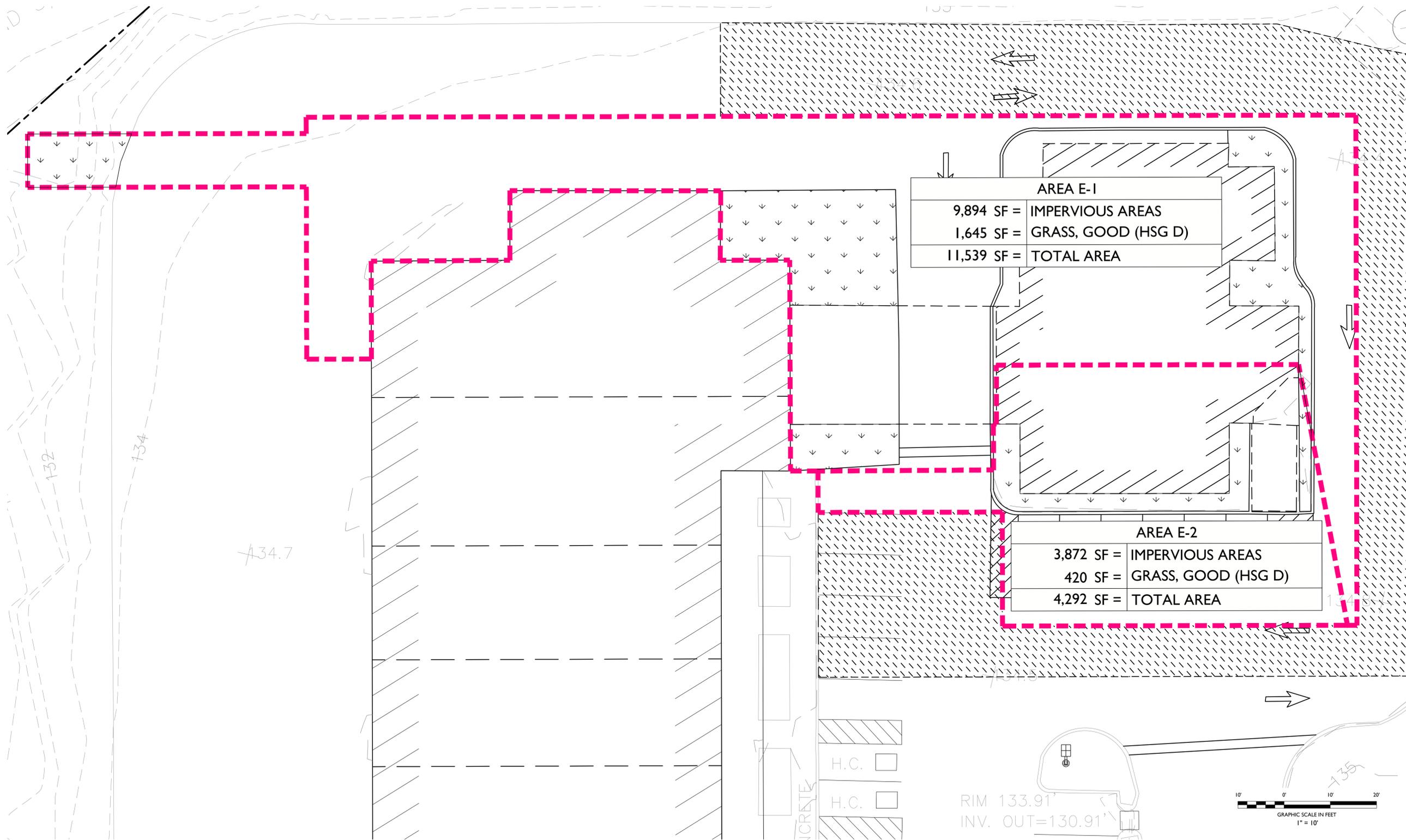
PROPERTY LINE



EXISTING DRAINAGE AREA



EXISTING PVIOUS AREA



ISSUE	DATE	BY	DESCRIPTION
1	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
0	07/18/2025	AB	FOR MUNICIPAL SUBMISSION

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SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 642, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 10' PROJECT ID: BOS-220049

TITLE:
**EXISTING DRAINAGE
AREA MAP**

DRAWING:

1 OF 2

2:00701480250220049.AJL.G - 253715LWATEL.BANGOR.HICAD.D01.DRAINAGE AREA MAP.DWG

SYMBOL

DESCRIPTION



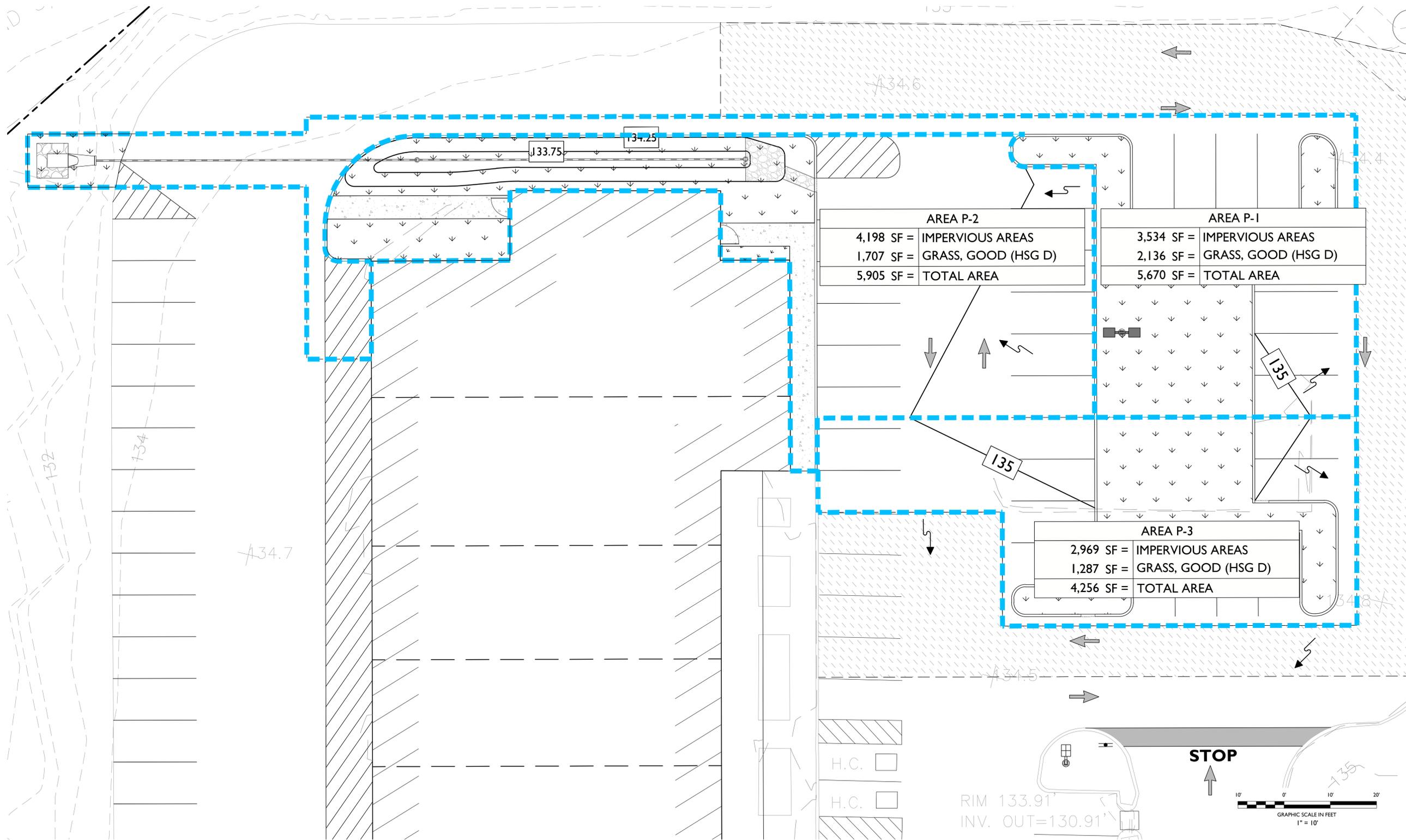
PROPERTY LINE



PROPOSED DRAINAGE AREA



PROPOSED PERVIOUS AREA



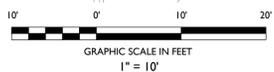
AREA P-2	
4,198 SF =	IMPERVIOUS AREAS
1,707 SF =	GRASS, GOOD (HSG D)
5,905 SF =	TOTAL AREA

AREA P-1	
3,534 SF =	IMPERVIOUS AREAS
2,136 SF =	GRASS, GOOD (HSG D)
5,670 SF =	TOTAL AREA

AREA P-3	
2,969 SF =	IMPERVIOUS AREAS
1,287 SF =	GRASS, GOOD (HSG D)
4,256 SF =	TOTAL AREA

RIM 133.91'
INV. OUT=130.91'

STOP



ISSUE	DATE	BY	DESCRIPTION
1	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
0	07/18/2025	AB	FOR MUNICIPAL SUBMISSION

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SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 10' PROJECT ID: BOS-220049

TITLE:
**PROPOSED DRAINAGE
AREA MAP**

DRAWING:

Z:\PROJECTS\2025\220049\AUG - 25\STILLWATER_BANGOR_HICAD\DWG\DRAINAGE AREA MAP\2505.MXD



DEPARTMENT OF ENVIRONMENTAL PROTECTION
STORMWATER APPLICATION CHECKLIST

Applicant:		
Project Name:		
Town:		
Application Type:	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Site Law
Watershed Name:		
Watershed Type:	<input type="checkbox"/> UIS	<input type="checkbox"/> Phosphorus <input type="checkbox"/> Neither

Project Area Information

	Existing to Remain ¹	New / Proposed	Total
Impervious (Im)			
Landscaped (Land)			
Developed (Dev) ²			

1- If area is not subject to treatment, provide reason and show in a separate column in the Water Quality Calc table.
 2- Developed area = Impervious Area + Landscaped Area

A. BASIC STANDARD

1. Erosion and Sedimentation Controls (Appendix A, page 32 of Chapter 500:

<https://www.maine.gov/sos/cec/rules/06/096/096c500.docx>)

- Guidance in Department [ESC BMP Manuals](#)

2. Inspection & Maintenance (Appendix B, page 37 of Chapter 500)

Construction Phase: Show on Plans the following:

- Responsibility for inspection and maintenance
- Construction schedule (how long will it take and in what sequence/critical path to build)
- Inspection frequency
- Scope of inspection
- Inspector qualifications
- Define storm event that triggers a wet weather inspection (0.5” of rain in 24 hours)
- Documentation (3 years minimum)

Post-Construction: Include in written I&M Plan the following:

- Responsibility for inspection and maintenance
- Inspection frequency for each BMP
- Inspection form for each BMP
- Inspector qualifications
- Define storm event that triggers a wet weather inspection (1” of rain in 24 hours)
- Documentation (5 years, minimum)
- Project is subject to Department 5-Year Recertification

3. Good Housekeeping (Appendix C, page 41 of Chapter 500)

- Show all seven elements on Plans.

B. GENERAL STANDARD

Must provide the following on WQ Treatment Plan: All BMPs with subcatchments including time of concentration (Tc) lines, flow lengths and flow types.

1. Soil Explorations (test pit completed by a certified soil scientist) at each proposed BMP

- Include test pit summary table on detail plan.
- If there is potential ledge, address in design.
- If shallow groundwater, address in design.

2. Treatment Standards (modify to fit project): Fill out the following table for the applicable standards that apply.

Applicable Standard	Section in Ch. 500	Required Treatment (Im / Dev)	Area Eligible		Area Treated		Provided Treatment %	
			Im	Dev	Im	Dev	Im	Dev
General Standard	4(C)(2)(a)(i)	95% / 80%						
Increased Runoff Treated ¹	4(C)(2)(a)(ii)	90% / 80% min						
% Parcel Developed ²	4(C)(2)(a)(iii)	90% / 75% min						
Redevelopment ³ (Dev Area)	4(C)(2)(d)	0% min (SW) 50% min (Site)						
Linear	4(C)(5)(c)	75% / 50% min						
Other: Offsite Treatment/Mitigation								
Project Total Area =								

1- If proposing to treat more than the first flush, state why meeting Ch. 500, § 4(C)(2)(a)(i) is not practicable.

2- Reduced % based on portion of parcel developed.

3- Include pollutant impact ranking calculations (current and proposed) and a figure showing the Redevelopment window.

3. Proposed BMPs: Please provide the following information on the Table below for EACH BMP.

BMPs Proposed	#	Pretreatment	Sizing calcs	Detail on Plans ¹	CPV Draindown Time	HydroCAD

1- BMP details (cross sections, elevation sections, plan view)

Link to Stormwater Design BMP Volumes I, II, III

<https://www.maine.gov/dep/land/stormwater/stormwaterbmps/index.html>

- Provide Construction Oversight Notes.
- If BMP is unlined, review and satisfy (Appendix E Sections 4(b) and 4(c), page 50 of Chapter 500).
- Treatment buffers (Appendix F, page 56 of Chapter 500): must provide sample deed restriction (Appendix G, page 64 of Chapter 500).
- Infiltration must satisfy Appendix D, page 44 of Chapter 500.
- Is conveyance designed to a 10-year, 24-hour storm?
- Is a drainage easement required for any areas to be flooded?
- Discharge to a public storm sewer system: Must provide authorization from the authority.

If proposing Proprietary BMPs, provide:

- Letter from vendor approving sizing and siting
<https://www.maine.gov/dep/land/stormwater/stormwaterbmps/index.html>.
- Executed 5-Year I&M Agreement with a provider approved by vendor.
- Narrative section and specific inspection forms in the written I&M Plan.
- Pervious pavement: Must provide Executed 5-Year I&M Agreement and vacuum equipment used.

C. PHOSPHORUS STANDARD

MUST provide on the WQ Treatment Plan: BMPs with subcatchments including time of concentration (Tc) lines, flow lengths and flow types;

Provide export calculations clearly showing distinct BMPs: Phosphorus Table Calculations
[Worksheet 4 july 2015.xlsx](#).

D. FLOODING STANDARD

1. Add pre- and post- peak flow rates table to post development plan for storms (2-, 10-, 25-year).
2. Is primary access road passable up to a 25-year, 24-hour storm?
3. If requesting a waiver of the Flooding Standard, must state justification for the waiver.
4. HydroCad or other runoff model
 - If post peak flow rate is > pre-peak flow, a waiver request will be needed with justification Ch. 500, § 4(F)(3)(a) or (b),
 - If discharging to wetland see Chap. 500, § 4(I).

This checklist has been designed by DEP stormwater engineers as a guidance tool to assist applicants and their consultants when preparing stormwater applications. Completing the checklist is recommended and valuable, but it is not a substitute for reviewing Ch. 500, and completing all the items on the checklist does not automatically mean all the Ch. 500 requirements have been satisfied. The contents of Ch. 500 should be reviewed carefully for the applicable requirements that apply to your proposed project.

I have reviewed this checklist and included in my submission all the required elements of this checklist that apply to the proposed project.

Maine Engineer of Record:



Signature

Date

Name (print)

STONEFIELD

OPERATIONS & MAINTENANCE MANUAL

PROPOSED PARKING LOT EXPANSION
LOT R62-001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

PREPARED IN ACCORDANCE WITH:
MEDEP STORMWATER MANAGEMENT DESIGN MANUAL

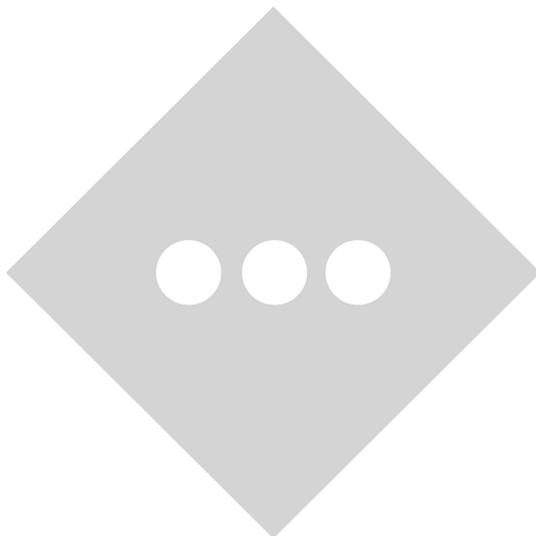
PREPARED FOR:
BANGOR RETAIL MANAGEMENT, LLC

PREPARED BY:
STONEFIELD ENGINEERING & DESIGN

REPORT DATE:
SEPTEMBER 21, 2022
REVISED: DECEMBER 5, 2025



JOSHUA KLINE, PE
ME PE LICENSE # 16648



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1.0 PROJECT DESCRIPTION

The subject property is designated as Map R62, Lot 01, commonly known as 570 Stillwater Avenue, Bangor, Maine. Bangor Retail Management, LLC is proposing the partial demolition of a building for an expanded parking area and additional landscaping. Please note that under the proposed parking lot expansion, the existing access would be maintained and the commercial building footprint would be marginally reduced. Additional improvements include utility upgrades, landscaping, site lighting, and a stormwater conveyance and treatment system.

The redevelopment property is within the Shopping and Personal Service (S&PS). The proposed development has commercial developments surrounding the subject site to the north, east, south, and west. Access to the subject property is proposed via one (1) full movement access, and one (1) ingress only, and one (1) egress only driveway along Stillwater Avenue.

This Operations & Maintenance Manual has been prepared to inform the landowner and contractor of the measures to be implemented for controlling runoff and pollutants from the site after construction activities. This plan proposes to conform to the requirements set forth by the City of Bangor, the Maine Department of Environmental Protection (MEDEP) Standards, and the Maine Soil Erosion and Sediment Control Best Management Practices Manual for Designers and Engineers.

2.0 STORMWATER MANAGEMENT OPERATIONAL PROCEDURES

Operation and maintenance of the permanent stormwater control BMPs shall be the responsibility of the operator of the project site at the time that the applicable maintenance is required. The current owner and responsible agent of the project is:

Bangor Retail Management, LLC
██
██
██

A copy of this report shall be kept on-site at all times both during and after construction. Upon reviewing agency approval, the title and date of the maintenance plan as well as the contact information of the current agent responsible for maintaining the stormwater management measures for the project shall be recorded on the deed of the property on which the measures are located. Any future change in this information such as change in property ownership shall also be recorded on the deed.

The current responsible agent shall evaluate the maintenance plan for effectiveness at least annually and revise the plan as necessary. A detailed, written log of all preventative and corrective maintenance performed for each stormwater management measure must be kept, including a record of all inspections and copies of maintenance-related work orders. Upon request from a public entity with jurisdiction over the project area the responsible agent shall make available the maintenance plan and associate logs and other records for review.

2.1 MAINTENANCE EQUIPMENT AND PERSONNEL

The current responsible agent shall ensure that adequate equipment and training is provided to maintenance personnel to perform the required maintenance tasks. Confined Space Entry Certification shall be required by personnel entering underground structures and pipes. The material and equipment necessary for inspection and maintenance activities shall include, but not be limited to, the following:

- ◆ *Landscape Areas:* Material and equipment customary in landscape maintenance practices.
- ◆ *Bioretention Area:* Instruments to perform visual inspection of vegetative health, equipment to pump stormwater from the basin in the event of maintenance, vacuum truck and hose for removal of sediment from basin bottom, and necessary safety equipment.

2.2 MAINTENANCE ACCESS POINTS

Subsurface access to the storm drain system is provided via inlets located within the parking areas, and access to the above ground bioretention system is provided via the parking area as indicated on Sheet C-5 of the Site Plans, prepared by Stonefield Engineering & Design, LLC. Reduced sheets (not to scale) can be found in the Appendix of this Manual.

3.0 STORMWATER BMP INVENTORY

The stormwater management measures incorporated into this development are listed below. The corresponding Field Manuals for the stormwater management measures are located in the Appendix of the Maintenance Plan.

3.1 MAINTENANCE

The following general maintenance tasks shall be performed:

- I. All stormwater inlets and manholes shall be inspected for debris and sediment accumulation and structural integrity at least four (4) times annually. Debris and sediment removal shall be scheduled as required to

maintain stormwater runoff conveyance efficiency and disposed of in compliance with all applicable local, state, and federal waste regulations.

2. Bioretention Area – Ensure that the flow is dispersed evenly throughout the BMP, inlet pipes are functioning as expected, there are no signs of erosion and rutting on the side slopes, the filter fabric is still functioning as designed. vegetation is well established without invasive species present, standing water is not present within the infiltration BMP 72 hours after a rain event, there are no signs of illicit discharges or vandalism, snow storage has no impact on the BMP area, and evaluate the level of sedimentation and trash accumulation for acceptable levels.
3. Trash receptacles onsite shall be emptied, and their liners replaced at a minimum of three (3) times per week.
4. Landscaping within the developed portions of the site shall be trimmed/mowed twice (2) monthly during the growing season. Reforested portions of the site shall be left undisturbed to vegetate naturally.

4.0 STORMWATER BMP PREVENTATIVE MAINTENANCE ACTIONS

4.1 ABOVE-GROUND BIORETENTION AREA

All bioretention components which receive, or discharge stormwater must be checked for trapped debris and sediment accumulation at least four (4) times annually as well as after storm events exceeding one (1) inch of precipitation. These components include: the outlet structure, the bioretention bottom, curb cuts, rip rap aprons, flared end sections, and trash racks. Sediment removal shall take place when the bioretention area is completely dry. Disposal of debris and sediment shall be done in compliance with all applicable local, state, and federal waste regulations.

The follow actions shall be performed annually for the bio-retention area:

- a) Mulching – Add mulch every spring to maintain a three-inch mulch layer on your rain garden. The mulch should prohibit most, if not all, weed growth. Any weeds that do succeed in growing should be easy to remove because they will have shallow roots. In addition to limiting weed seed germination, mulching also prevents the loss of soil through erosion. Remember that triple shredded hardwood mulch with no dye is preferred for rain gardens.
- b) Pruning – Each spring, prune dead vegetation, deadhead flowers, and cut back tattered or unwieldy plants. This will encourage dense, new growth and improve the rain garden's filtering capacity.

Remember that stems and seed heads can be left on the plants for winter interest, wildlife cover, and food for birds.

- c) Replanting – Remove or replace plant material that is not thriving. Consider planting more of a particularly successful species.
- d) Sediment Removal – Bioretention areas may accumulate sediment, particularly if it collects runoff from a driveway or a road. This is a sign of success; however, occasionally use a flat shovel to remove any excess sediment, leaves, or debris. Be cautious particularly of any buildup occurring near the water inlet of the rain garden, especially if your rain garden is located next to a driveway or road and you notice sand in the buildup. A grass buffer, near the rain garden’s inlet and between the rain garden and the road, will prevent road sand, salt, and sediment from entering your rain garden. A small rock bed at the inlet will function similarly. The debris in the water will drop out along the grass strip or rock bed, making it easier to clean your rain garden.
- e) Additional Steps – Additional maintenance includes seed collection and taking cuttings from successful plants, planting more of a particularly successful species, re-seeding the berm if necessary, replacing rocks that may be diverting flow out of the garden, and building up areas where more protection is needed to prevent erosion. After installation, if the rain garden is not infiltrating at the desired rate, make holes using an augur in the rain garden and fill these holes with coarse sand.

As per the MEDEP Stormwater Management Requirements – Chapter 500, Appendix B, preventative and corrective maintenance shall be performed to maintain the function of the stormwater management measure. A person with knowledge of erosion and stormwater control in the state of Maine, including the standards and conditions of the permit, shall conduct the inspections.

4.2 POST-CONSTRUCTION MEASURES

In addition to the BMP maintenance aforementioned, the following need to be performed:

- I. **Vegetated Areas** – To be inspected early in the growing season or after heavy rains, particularly at slopes and embankments, for active or potential erosion problems. Bare areas or areas of sparse growth shall be replanted. If rill erosion is evident, appropriate lining shall be installed or erosive flows shall be diverted to onsite areas able to accommodate concentrated flows.

2. **Winter Sand** – Accumulations of winter sand shall be removed from parking lots and along roadways once a year in the spring. Accumulation of winter sand on pavement shall be removed by pavement sweeping.

3. **Native Vegetation** – The native vegetation located around the Penjajawoc Marsh shall be inspected for any disease. If disease is found new native vegetation is to be planted and the Penjajawoc Marsh Bangor Mall Management Commission is to be notified of the disease.

5.0 ANNUAL EVALUATION OF THE EFFECTIVENESS OF THE PLAN

The responsible party should evaluate the effectiveness of the maintenance plan by comparing the maintenance plan with the actual performance of the maintenance. The items to evaluate may include, but not limited to,

- Whether the inspections have been performed as scheduled;
- Whether the preventive maintenance has been performed as scheduled;
- Whether the frequency of preventative maintenance needs to increase or decrease;
- Whether the repairs were completed on time;
- Whether the inspection, maintenance, and repair records have been kept.

If actual performance of those items has been deviated from the maintenance plan, the responsible party should find the causes and implement solutions in a revised maintenance plan.

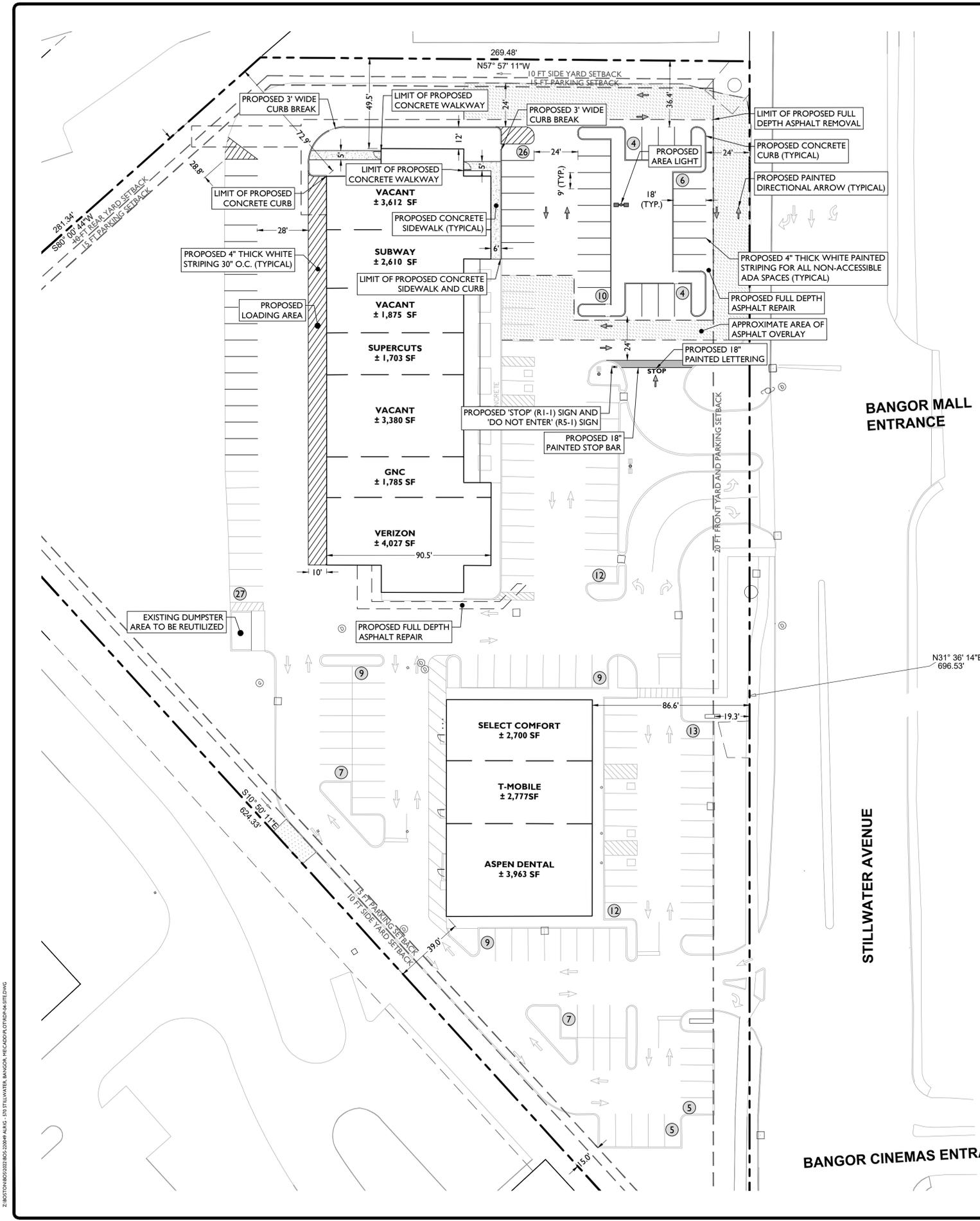
APPENDIX A
PROJECT PLANS (NOT TO SCALE)

INVENTORY

SITE PLAN

DRAINAGE PLAN

LANDSCAPING PLAN



LAND USE AND ZONING				
MAP R62, LOT 001				
SHOPPING AND PERSONAL SERVICE (S&PS)				
PENJAWOC MARSH OVERLAY ZONE				
PROPOSED USE				
NO CHANGE IN PROPOSED USE				
ZONING REQUIREMENT	REQUIRED	EXISTING	PREVIOUSLY APPROVED (2017)	PROPOSED
MINIMUM LOT AREA	10,000 SF (0.45 AC)	195,280 SF (4.48 AC)	195,280 SF (4.48 AC)	NO CHANGE
MINIMUM LOT WIDTH	100 FT	698.3 FT	698.3 FT	NO CHANGE
MAXIMUM IMPERVIOUS SURFACE RATIO	0.70 (136,696 SF)	0.67 (131,158 SF)	0.63 (122,606 SF)	0.66 (129,714 SF)
MAXIMUM LOT COVERAGE	25.0% (48,820 SF)	16.6% (32,439 SF)	20.0% (39,060 SF)	14.6% (28,432 SF)
MAXIMUM BUILDING HEIGHT	40 FT	< 40 FT	< 40 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	20 FT	32.5 FT	87.0 FT	86.6 FT
MINIMUM SIDE YARD SETBACK	10 FT	38.8 FT	39.3 FT	39.0 FT
MINIMUM REAR YARD SETBACK	10 FT	72.9 FT	72.9 FT	NO CHANGE
MAXIMUM FLOOR AREA RATIO	0.6	0.20 (39,060 SF)	0.20 (39,060)	0.15 (28,432 SF)
MINIMUM PARKING SETBACK (STREET LINE)	20 FT	19.3 FT	20 FT	19.3 FT
MINIMUM PARKING SETBACK (SIDE & REAR LOT LINE)	15 FT	15 FT	15 FT	15 FT

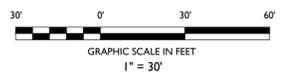
OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-72S	ADA PARKING: TOTAL PARKING SPACES: 165 SPACES REQUIRED MINIMUM OF HANDICAPPED ACCESSIBLE SPACES: 6 SPACES	6 SPACES
§ 165-73.D.2	BUFFER REQUIREMENTS: ALL PARKING LOTS FRONTING ON A PUBLIC STREET OR PRIVATE WAY SHALL HAVE AN E BUFFER YARD ALONG THE STREET RIGHT-OF-WAY	COMPLIES
§ 165-74.A	PARKING SPACE SIZE: 90° PARKING: 9 FT X 18 FT W/ 24 FT AISLES	9 FT X 18 FT W/ 24 FT AISLES
§ 165-74.B	LANDSCAPING ISLANDS: MINIMUM WIDTH BETWEEN ROWS: 5 FT MINIMUM WIDTH AT END OF ROWS: 4 FT	N/A 4 FT
§ 165-76	SERVICE: 1 SPACE FOR 1,000 SF TO 25,000 SF 1 SPACE REQUIRED	
§ 165-77	DIMENSIONS: LESS THAN 10,000 SF OF GFA MINIMUM LENGTH: 25 FT MINIMUM WIDTH: 10 FT MINIMUM CLEARANCE: 10 FT	WILL OCCUR DURING OFF PEAK HOURS

TOTAL OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED (*)	PROPOSED (**)
§ 165-72	FURNITURE STORE: FIRST 2,000 SF - 1 SPACE PER 300 SF (2,000 SF) / (300 SF) = 7 SPACES 2,000 SF AND UP - 1 SPACE PER 600 SF (700 SF) / (600 SF) = 2 SPACES DENTAL OFFICE: 1 SPACE PER 200 SF OF FLOOR AREA (3,963 SF) / (200 SF) = 20 SPACES RETAIL STORE & SERVICE BUSINESS: 1 SPACE PER 300 SF OF FLOOR AREA (10,292 SF) / (300 SF) = 35 SPACES DRIVE-IN BUSINESS SERVING FOOD: 1 SPACE PER 200 SF OF SEATING AREA (2,610 SF) * (1/200 SF) = 14 SPACES VACANT: 1 SPACE PER 200 SF OF FLOOR AREA (8,867 SF) / (200 SF) = 45 SPACES TOTAL SPACES REQUIRED: 9 + 20 + 35 + 14 + 45 = 123 SPACES	165 SPACES

(*) REQUIRED NUMBER OF SPACES FOR THE VACANT BUILDING AREA WERE CALCULATED USING GENERAL RESTAURANT REQUIREMENTS
 (**) PROPOSED NUMBERS WERE CALCULATED FROM AN ACCUMULATION OF THE EXISTING AND PROPOSED SITE DESIGN.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - - -	SETBACK LINE
- · - · - ·	SAWCUT LINE
---	PROPOSED CURB
□	PROPOSED CONCRETE

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	DATE	BY	DESCRIPTION
02	01	00	12/01/2025	GHC	FOR MUNICIPAL RESUBMISSION
			10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
			07/18/2025	AB	FOR MUNICIPAL RESUBMISSION
					ISSUE

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120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

SITE PLAN SET

THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

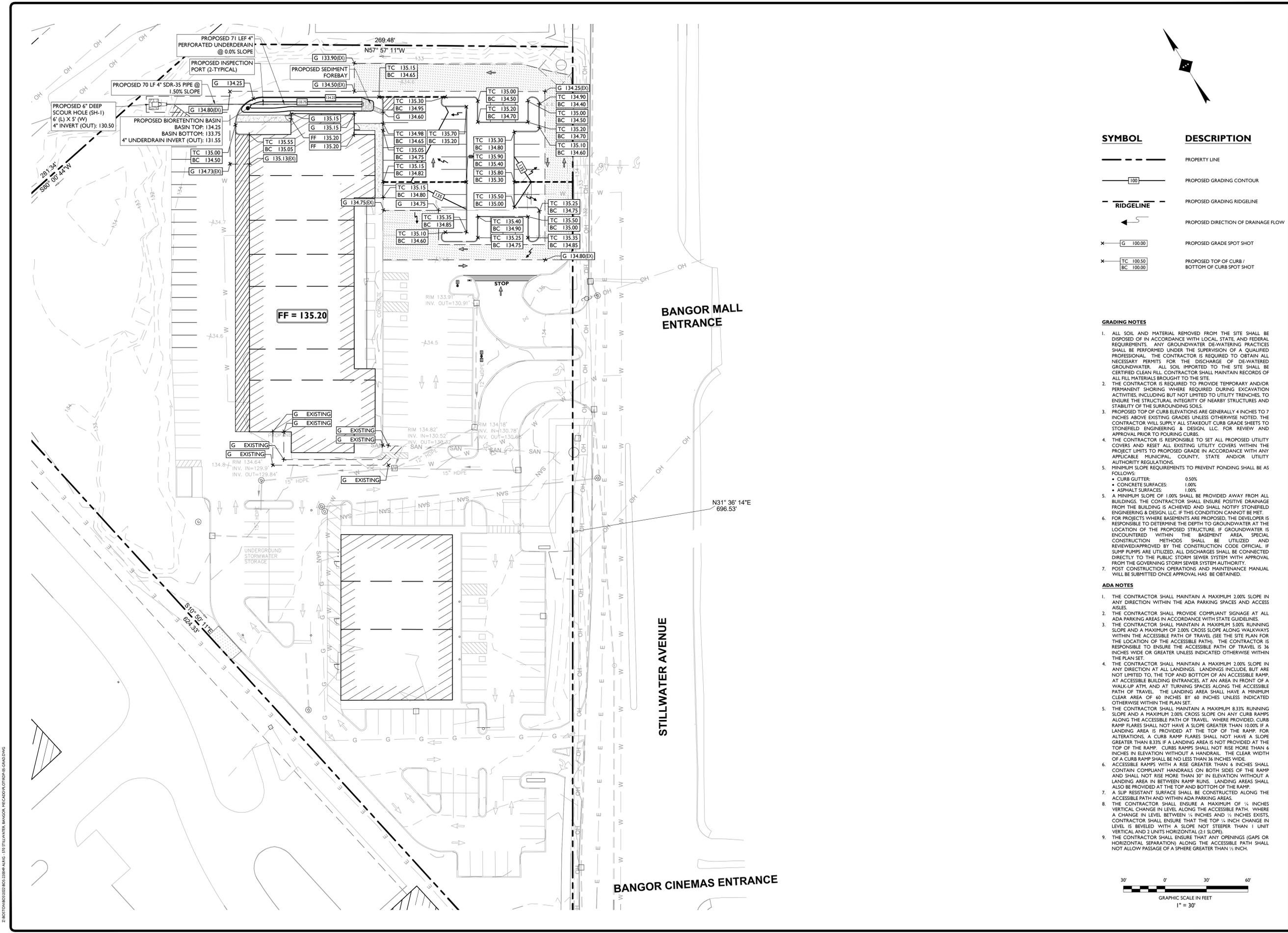
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SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
SITE PLAN

DRAWING:
C-4

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SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
— RIDGELINE —	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
x G 100.00	PROPOSED GRADE SPOT SHOT
x TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SLUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.
 - POST CONSTRUCTION OPERATIONS AND MAINTENANCE MANUAL WILL BE SUBMITTED ONCE APPROVAL HAS BEEN OBTAINED.
- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP PATH, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/2 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	DATE	BY	DESCRIPTION
02	12/01/2025	GHC			
01	10/06/2025	AB			
00	07/18/2025	AB			
			ISSUE		

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SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 842, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE NO. 16648
LICENSED PROFESSIONAL ENGINEER

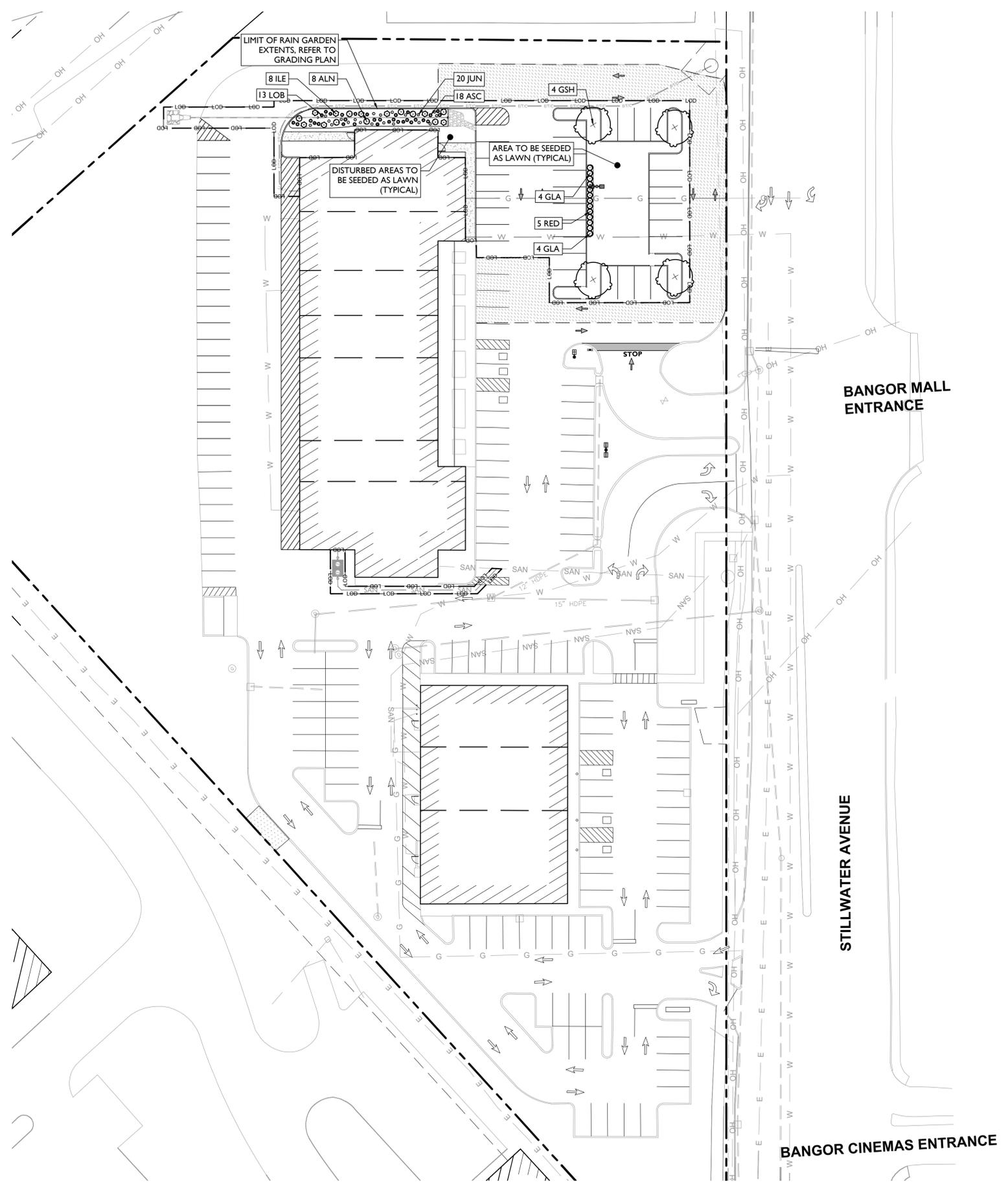
STONEFIELD
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SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
**GRADING & DRAINAGE
PLAN**

DRAWING:
C-5

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LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 165-73.D(2)	SCREENING REQUIREMENTS: PARKING LOTS FRONTING A PUBLIC STREET ARE SUBJECT TO TYPE "E" BUFFER REQUIREMENTS	DOES NOT COMPLY (EN)
ATTACHMENT I	BUFFER E SHALL BE LANDSCAPED EQUAL TO SETBACK REQUIREMENT	DOES NOT COMPLY (EN)
§ 165-74.D(7)(a)	INTERIOR PARKING LOT REQUIREMENTS: PARKING LOT GREEN SPACE 5% REQUIRED (11,810 SF) ⁽¹⁾ x (0.05) = 591 SF SHADE TREES: 1 PER 10 SPACES (32 SPACES) ⁽¹⁾ / (1 TREE / 10 SPACES) = 4 TREES SHRUBS: 4 PER 10 SPACES (32 SPACES) ⁽¹⁾ / (4 TREES / 10 SPACES) = 13 SHRUBS NO LESS THAN 50% OF THE INTERIOR SHRUBS SHALL BE EVERGREEN	3,187 SF (27%) 4 TREES 13 SHRUBS COMPLIES
§ 165-74.D(7)(b)		

(EN) EXISTING NONCONFORMITY
(1) CALCULATION ONLY INCLUDES THE PORTION OF PAVED PARKING PROPOSED

PLANT SCHEDULE							
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DETAIL
DECIDUOUS TREES							
(X)	GSH	4	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2.5" - 3" CAL	B&B	NATIVE (VARIETY)
SHRUBS							
(R)	RED	5	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18" - 24"	POT	NATIVE
EVERGREEN SHRUBS							
(G)	GLA	8	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18" - 24"	POT	NATIVE
RAIN GARDEN PLANTINGS							
(A)	ASC	18	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	1 GAL.	POT	NATIVE
(L)	ALN	8	CLETHRA ALNIFOLIA 'CRYSTALINA'	SUGARTINA® SUMMERSWEET	1 GAL.	POT	NATIVE (VARIETY)
(S)	ILE	8	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	1 GAL.	POT	NATIVE (VARIETY)
(J)	JUN	20	JUNCUS EFFUSUS	SOFT RUSH	1 GAL.	POT	NATIVE
(B)	LOB	13	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL.	POT	NATIVE

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

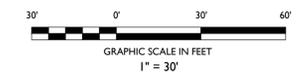


Know what's below
Call before you dig.

IRRIGATION NOTE:
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



DATE	BY	DESCRIPTION
12/01/2025	GHC	FOR MUNICIPAL RESUBMISSION
10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
07/18/2025	AB	FOR MUNICIPAL SUBMISSION
		ISSUE

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SITE PLAN SET

**THE AVENUE DEVELOPMENT
PROPOSED PARKING LOT
EXPANSION**

MAP 842, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-220049

TITLE:
LANDSCAPING PLAN

DRAWING:
C-9

Z:\BOSTON\BOS220049\BOS-220049-PLANS\103 STILLWATER BANGOR.HICAD\001\07\25\14 ISLAND.DWG

APPENDIX B

INSPECTION CHECKLISTS

INVENTORY

INSPECTION AND MAINTENANCE LOG – OBSERVED

INSPECTION AND MAINTENANCE LOG – CORRECTED

ANNUAL EVALUATION RECORDS

STORMWATER INSPECTION AND MAINTENANCE LOG - OBSERVED

1. The responsible party shall report issues to the local authority as required by local ordinances and regulatory authorities.
2. The Contractor should fill out the checklist in the field manual when performing each inspection/maintenance task.
3. After the maintenance task is performed, the checklist should be filed in the Maintenance Plan and recorded in the log below.

<i>Measure Inspected</i>	<i>Inspector Name</i>	<i>Date(s) of Inspection</i>	<i>Maintenance Needed</i>
Vegetated Areas			
Inspect slopes and embankments and replant bare areas			
Armor rill erosion areas or divert runoff			
Mow vegetation as specified for the area			
Roadways and Parking Areas			
Clear and remove accumulated winter sand in paved areas			
Sweep pavement to remove sediment			
Remove debris and sediment from stormwater inlets and manholes			
Other Practices			
Contact the department for appropriate inspection and maintenance requirements for other drainage control and runoff treatment measures			

ANNUAL EVALUATION RECORD

The Contractor should evaluate the effectiveness of the maintenance plan by comparing the maintenance plan with the actual performance of the maintenance. The items to evaluate may include, but not limited to,

- Whether the inspections have been performed as scheduled;
- Whether the preventive maintenance has been performed as scheduled;
- Whether the frequency of preventative maintenance needs to increase or decrease;
- Whether the repairs were completed on time;
- Whether the inspection, maintenance, and repair records have been kept.

If actual performance of those items has been deviated from the maintenance plan, the responsible party should find the causes and implement solutions in a revised maintenance plan.

Evaluator(s)	Date of Evaluation	Decision
		___ Maintain current version OR ___ Revise current version Revision date _____ (also update the last revision date on the cover page) ___ Requires a new deed recording (also update the last recording information on the cover page)
		___ Maintain current version OR ___ Revise current version Revision date _____ (also update the last revision date on the cover page) ___ Requires a new deed recording (also update the last recording information on the cover page)
		___ Maintain current version OR ___ Revise current version Revision date _____ (also update the last revision date on the cover page) ___ Requires a new deed recording (also update the last recording information on the cover page)

SYMBOL

DESCRIPTION



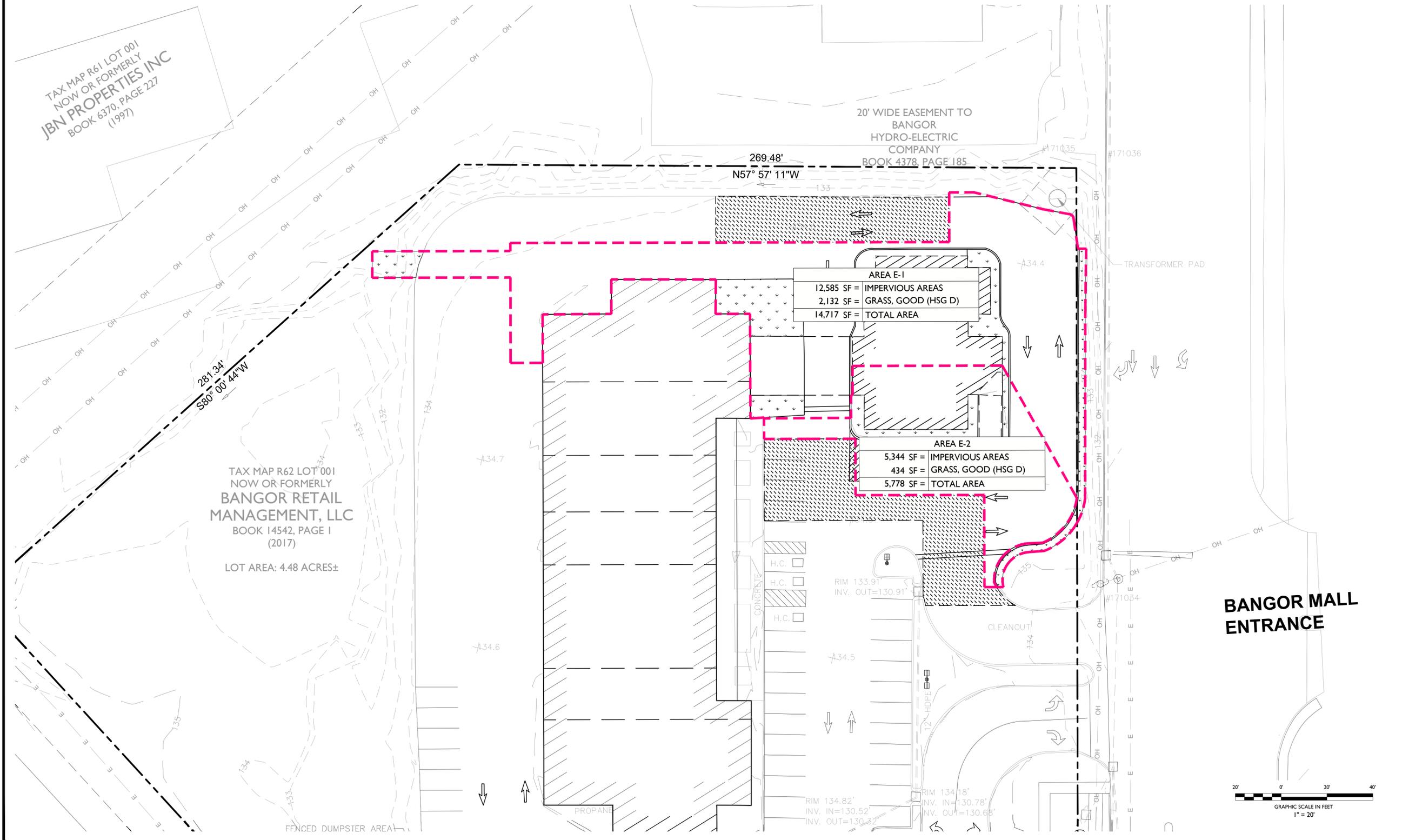
PROPERTY LINE



EXISTING DRAINAGE AREA



EXISTING PVIOUS AREA



TAX MAP R61 LOT 001
NOW OR FORMERLY
JBN PROPERTIES INC
BOOK 6370, PAGE 227
(1997)

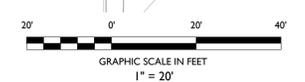
TAX MAP R62 LOT 001
NOW OR FORMERLY
BANGOR RETAIL
MANAGEMENT, LLC
BOOK 14542, PAGE 1
(2017)
LOT AREA: 4.48 ACRES±

20' WIDE EASEMENT TO
BANGOR
HYDRO-ELECTRIC
COMPANY
BOOK 4378, PAGE 185

AREA E-1
12,585 SF = IMPERVIOUS AREAS
2,132 SF = GRASS, GOOD (HSG D)
14,717 SF = TOTAL AREA

AREA E-2
5,344 SF = IMPERVIOUS AREAS
434 SF = GRASS, GOOD (HSG D)
5,778 SF = TOTAL AREA

**BANGOR MALL
ENTRANCE**



ISSUE	DATE	BY	DESCRIPTION
03	01/30/2025	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2025	GMC	FOR MUNICIPAL RESUBMISSION
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00	07/18/2025	AB	FOR MUNICIPAL RESUBMISSION

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SITE PLAN SET

**THE AVENUE DEVELOPMENT
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EXPANSION**

MAP R62, LOT 001
570 STILLWATER AVENUE
CITY OF BANGOR
PENOBSCOT COUNTY, MAINE

STATE OF MAINE
JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: BOS-220049

TITLE:
**EXISTING DRAINAGE
AREA MAP**

DRAWING:
1 OF 2

24070148020250220049.dwg - 10/15/2025 10:45 AM - 10/15/2025 10:45 AM - 10/15/2025 10:45 AM - 10/15/2025 10:45 AM - 10/15/2025 10:45 AM

SYMBOL

DESCRIPTION



PROPERTY LINE



PROPOSED DRAINAGE AREA



PROPOSED PERVIOUS AREA

TAX MAP R61 LOT 001
NOW OR FORMERLY
JBN PROPERTIES INC
BOOK 6370, PAGE 227
(1997)

TAX MAP R62 LOT 001
NOW OR FORMERLY
BANGOR RETAIL
MANAGEMENT, LLC
BOOK 14542, PAGE 1
(2017)
LOT AREA: 4.48 ACRES±

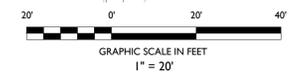
20' WIDE EASEMENT TO
BANGOR
HYDRO-ELECTRIC
COMPANY
BOOK 4378, PAGE 185

AREA P-1
4,107 SF = IMPERVIOUS AREAS
4,036 SF = GRASS, GOOD (HSG D)
8,143 SF = TOTAL AREA

AREA P-2
4,198 SF = IMPERVIOUS AREAS
1,707 SF = GRASS, GOOD (HSG D)
5,905 SF = TOTAL AREA

AREA P-3
6,268 SF = IMPERVIOUS AREAS
179 SF = GRASS, GOOD (HSG D)
6,447 SF = TOTAL AREA

**BANGOR MALL
ENTRANCE**



ISSUE	DATE	BY	DESCRIPTION
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00	07/18/2025	AB	FOR MUNICIPAL SUBMISSION



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PENOBSCOT COUNTY, MAINE



JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER



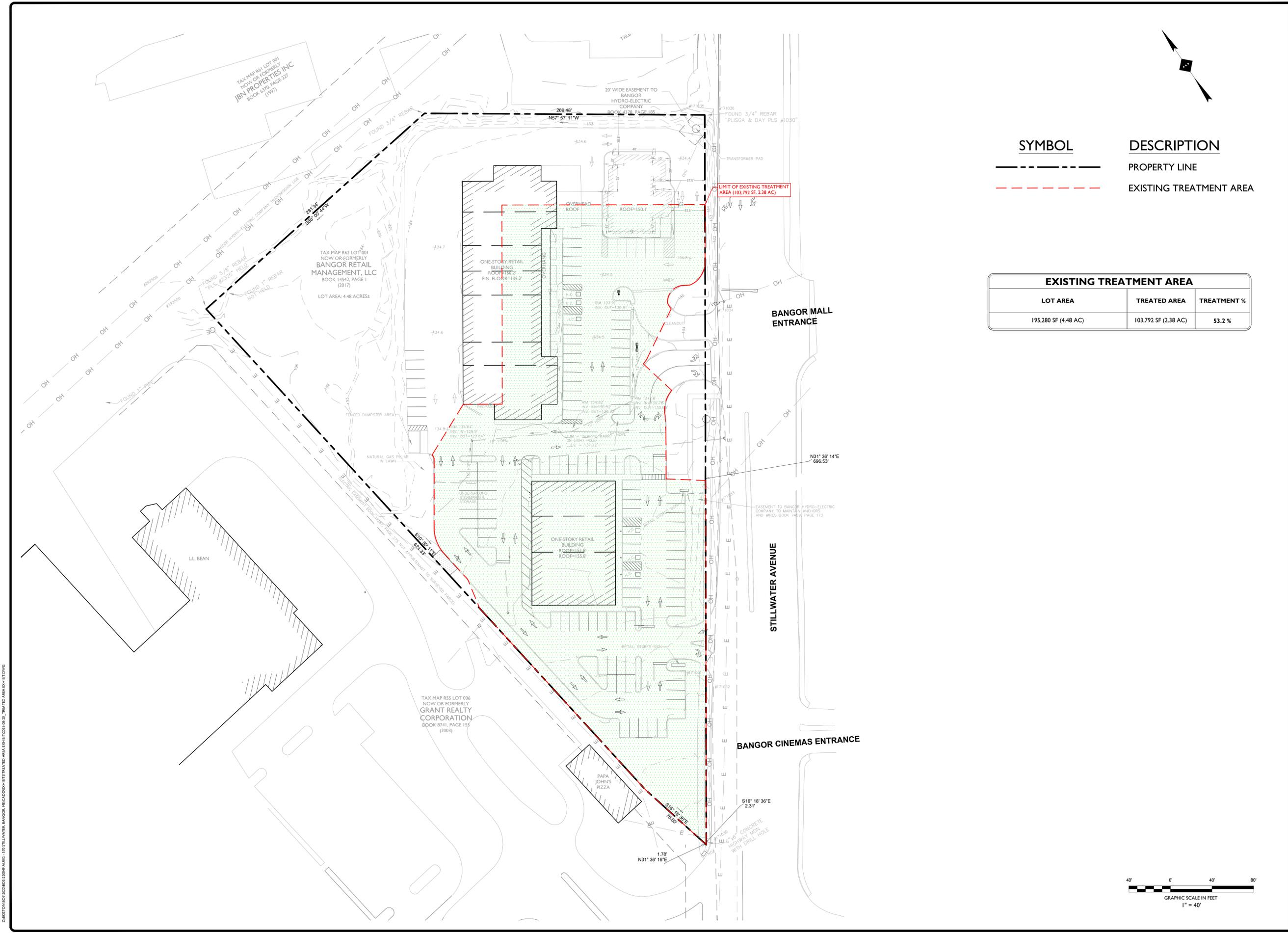
SCALE: 1" = 20' PROJECT ID: BOS-220049

TITLE:
**PROPOSED DRAINAGE
AREA MAP**

DRAWING:

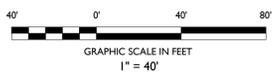
2 OF 2

24/07/2025 09:52:20 AM G:\303\TILE\WATER_BANGOR_HFC\ADD\DRH\TDR\DRAINAGE AREA\HPS\2025\02_13\DRAINAGE AREA_HPS.DWG



SYMBOL	DESCRIPTION
	PROPERTY LINE
	EXISTING TREATMENT AREA

EXISTING TREATMENT AREA		
LOT AREA	TREATED AREA	TREATMENT %
195,280 SF (4.48 AC)	103,792 SF (2.38 AC)	53.2 %



ISSUE	DATE	BY	DESCRIPTION
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01	10/06/2025	AB	FOR MUNICIPAL RESUBMISSION
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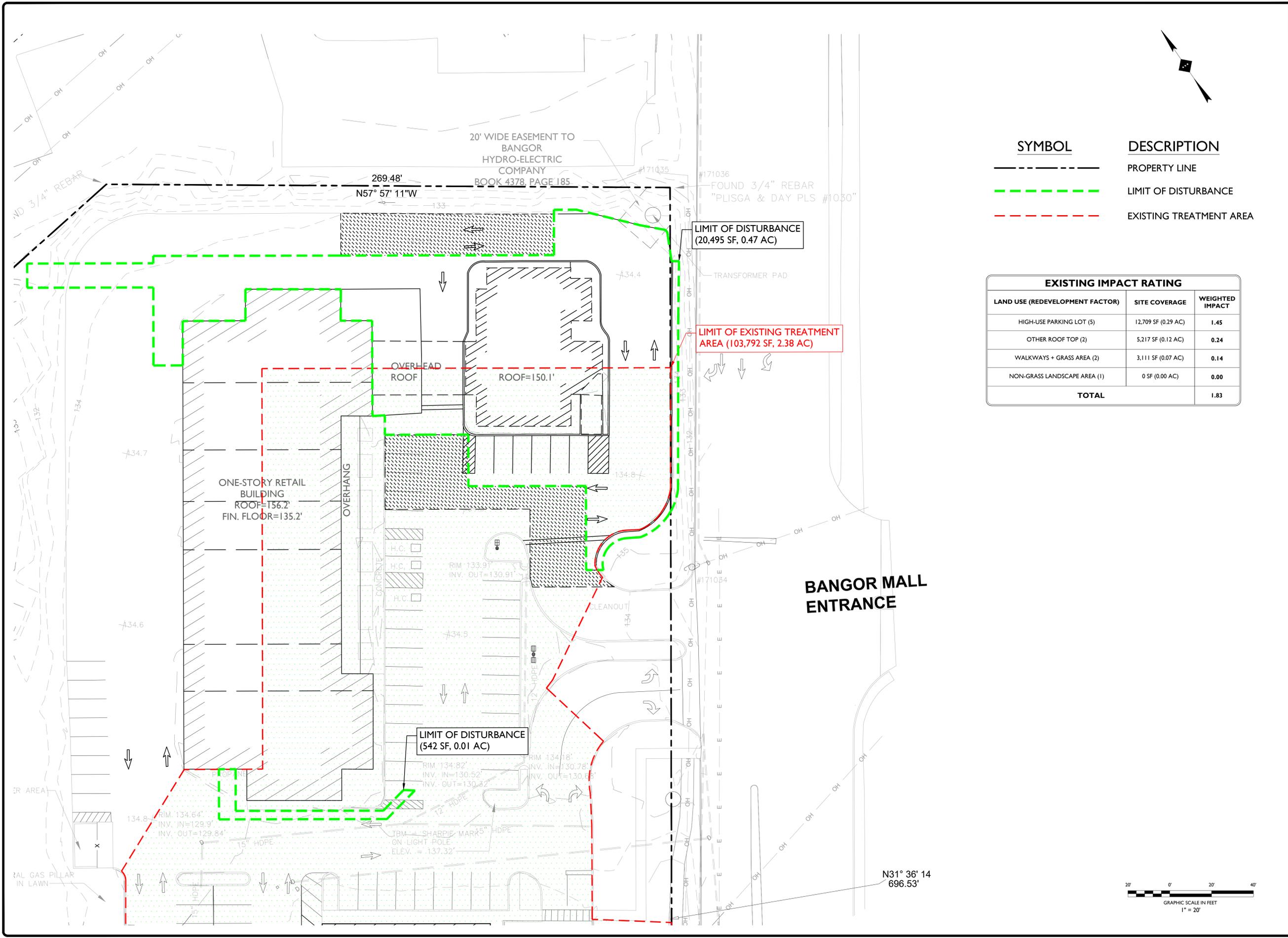
STONEFIELD
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SCALE: 1" = 40' PROJECT ID: BOS-220049

TITLE:
**STORMWATER
TREATMENT EXHIBIT
(OVERALL)**

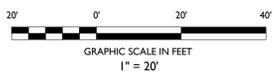
DRAWING:
1 OF 3

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SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	LIMIT OF DISTURBANCE
---	EXISTING TREATMENT AREA

EXISTING IMPACT RATING		
LAND USE (REDEVELOPMENT FACTOR)	SITE COVERAGE	WEIGHTED IMPACT
HIGH-USE PARKING LOT (5)	12,709 SF (0.29 AC)	1.45
OTHER ROOF TOP (2)	5,217 SF (0.12 AC)	0.24
WALKWAYS + GRASS AREA (2)	3,111 SF (0.07 AC)	0.14
NON-GRASS LANDSCAPE AREA (1)	0 SF (0.00 AC)	0.00
TOTAL		1.83



ISSUE	DATE	BY	DESCRIPTION
03	01/20/2025	AB	FOR MUNICIPAL RESUBMISSION
02	12/01/2025	GHC	FOR MUNICIPAL RESUBMISSION
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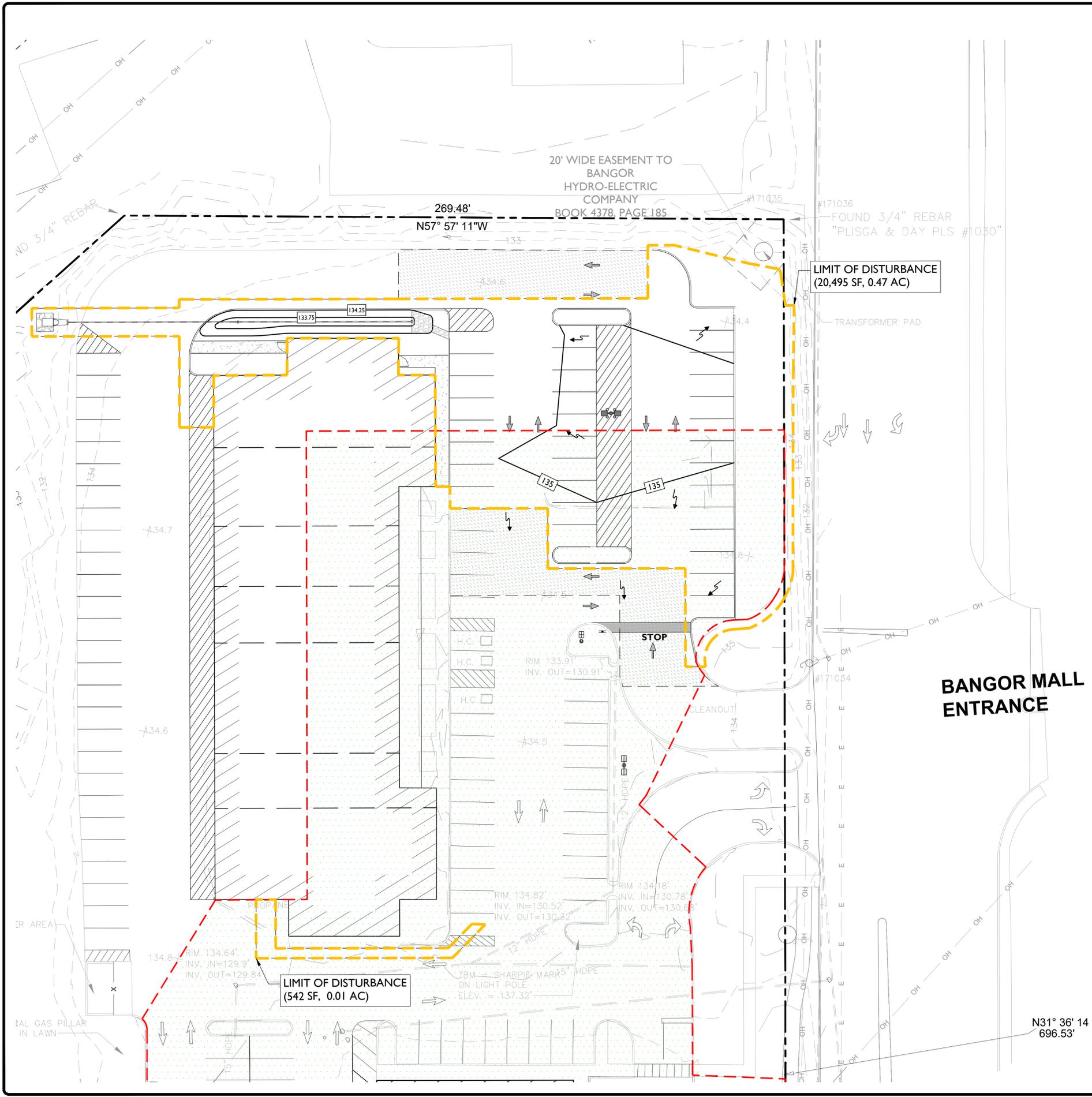
STATE OF MAINE
JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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SCALE: 1" = 20' PROJECT ID: BOS-220049

TITLE: **STORMWATER TREATMENT EXHIBIT (EXISTING CONDITIONS)**

DRAWING: **2 OF 3**



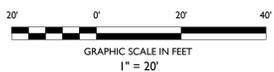
SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	LIMIT OF DISTURBANCE
- . - . - .	EXISTING TREATMENT AREA

LAND USE (REDEVELOPMENT FACTOR)	SITE COVERAGE	WEIGHTED IMPACT
HIGH-USE PARKING LOT (5)	14,289 SF (0.33 AC)	1.65
WALKWAYS + GRASS AREA (2)	5,437 SF (0.12 AC)	0.24
NON-GRASS LANDSCAPE AREA (1)	1,311 SF (0.03 AC)	0.03
TOTAL		1.92

EXISTING IMPACT	PROPOSED IMPACT	RANKED IMPACT CHANGE DUE TO REDEVELOPMENT
1.83 (EIR) / 0.48 (AC) = 3.81	1.92 (EIR) / 0.48 (AC) = 4.00	4.00 - 3.81 = 0.19

	LIMIT OF DISTURBANCE	TREATED AREA	TREATMENT %	REQUIRED TREATMENT
EXISTING	20,495 SF (0.47 AC)	7,721 SF (0.18 AC)	37.7 %	60% (12,297 SF)
PROPOSED		12,352 SF (0.28 AC)	60.2%	

BANGOR MALL ENTRANCE



ISSUE	DATE	BY	DESCRIPTION
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PENOBSCOT COUNTY, MAINE

JOSHUA H. KLINE, P.E.
MAINE LICENSE No. 16648
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: BOS-220049

TITLE: **STORMWATER TREATMENT EXHIBIT (PROPOSED)**

DRAWING: **3 OF 3**



CITY OF BANGOR

PLANNING DIVISION

CHECKLIST FOR LAND DEVELOPMENT APPLICATIONS

DATE SUBMITTED: _____

DATE REVIEWED: _____

INITIALS: _____

Project: _____

Project Location: _____

Applicant: _____

Applicant Representative: _____

Phone Number or Email: _____

Yes	No	Not applicable / Other	Site Plan Element
			Scale
			North Arrow
			Building/Lot dimensions
			Building locations/uses
			Parking/access/loading locations
			Signage
			Lighting
			Screening and Buffer
			Erosion and sedimentation
			Stormwater
			Manholes/catch basins
			Sewer
			Water
			Fire Hydrants
			Electric/Communication
			Curbs and gutters
			Paved/un-vegetated/vegetated areas



CITY OF BANGOR

PLANNING DIVISION

CHECKLIST FOR LAND DEVELOPMENT APPLICATIONS

Yes	No	Not applicable / Other	Site Plan Element
			Trash
			Outdoor display/storage
			Existing trees
			Deed or other instrument allowing pursuit of permits
			Topo
			Adjacent buildings and features
			Traffic
			Location sketch
			Post Construction StormWater Maintenance Plan
			Building Permit Application
			Fire Comments
			Shoreland delineation
			FloodPlain location
			Effects on scenic, etc
			Table showing compliance with dimensional Requirements
			Table showing compliance with Parking Requirements

Comments on Completeness



CITY OF BANGOR

PLANNING DIVISION

CHECKLIST FOR LAND DEVELOPMENT APPLICATIONS



CITY OF BANGOR

PLANNING DIVISION

CHECKLIST FOR LAND DEVELOPMENT APPLICATIONS

Comments on Compliance

Additional comments from Planning staff:

-Red maple isn't very salt tolerant. For survivability purposes, some recommended alternative trees are shown below:

Large trees

- Sassafrass (*Sassafrass albidum*) (native)
- Northern red oak (*Quercus rubra*) (native)
- Black/Swamp white oak (*Quercus bicolor*) (native)
- White oak (*Quercus alba*) (native)
- Scarlet oak (*Quercus coccinea*) (native)
- Chestnut oak (*Quercus prinus*) (native)
- Bur oak (*Quercus macrocarpa*) (native)
- Hackberry (*Celtis occidentalis*) (native)
- American elm 'Princeton' or 'Prairie Expedition' (resistant to Dutch elm disease) (native)
- Honeylocust (thornless) (*Gleditsia triacanthos inermis*) (native)
- Bald cypress (*Taxodium distichum*) (native)
- Black gum/Tupelo (*Nyssa sylvatica*) (native)
- Kentucky Coffeetree (*Gymnocladus dioica*) (native)

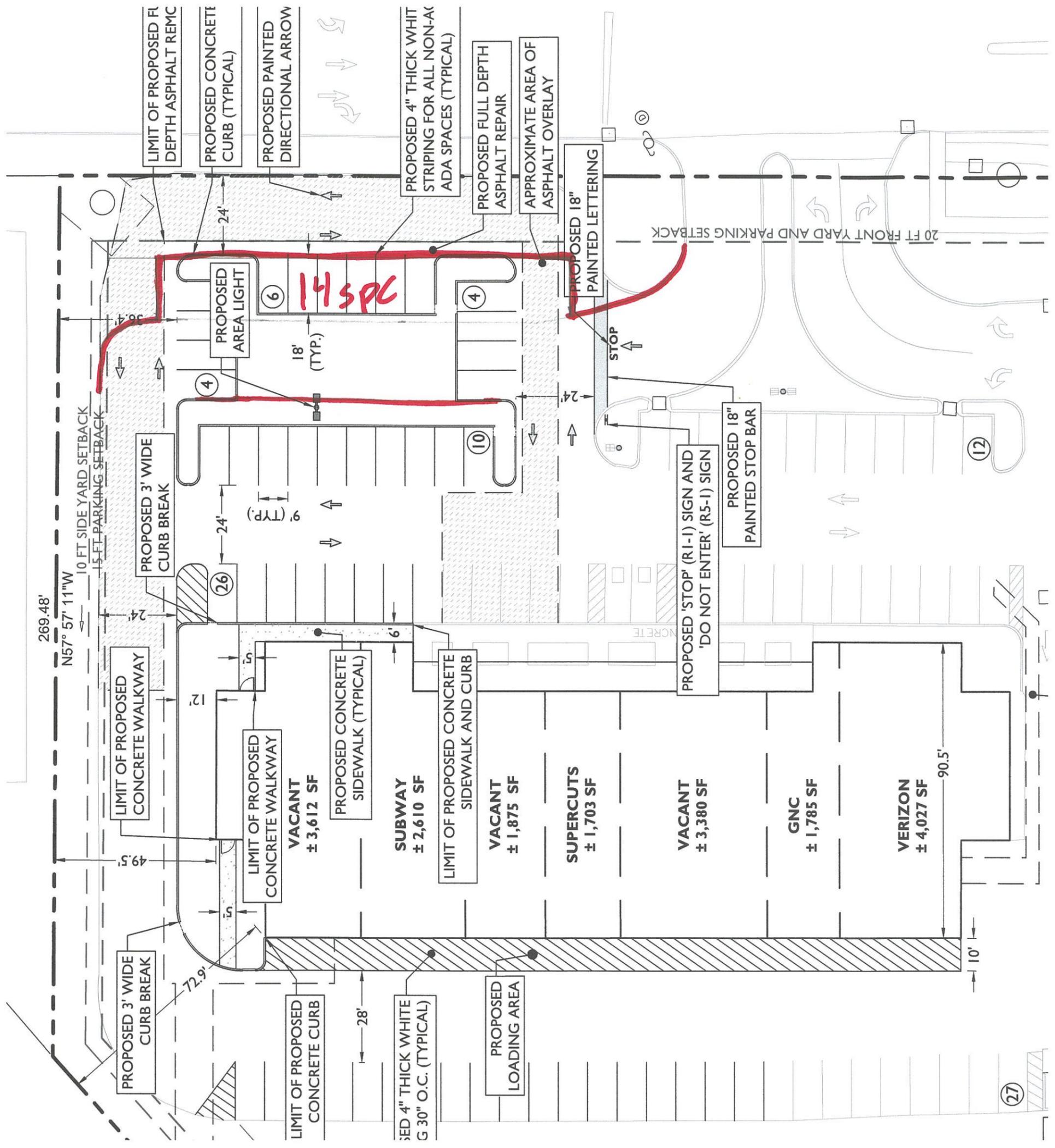
-The response to comments regarding the traffic movement permit says the Massachusetts Department of Transportation. Is this a typo?

-Please provide specific documentation for financial capacity

-The landscape plan states that 31 spaces are in the proposed new parking area, but I'm counting 32. Additionally, when the planting ratios result in fractional numbers (3.2 in this case), the Code requires us to round up. This would result in 1 additional tree and shrub planting (3.2 trees rounds up to 4 total, and 12.8 shrubs rounds up to 13).

Engineering Comments:

- As noted in our first set of comments their previous site plan approval was subject to a MDEP Stormwater Permit. With the additional modifications to the site, they also need to modify their existing stormwater permit for the site with the Maine DEP. The applicant responded by sending us a SLODA narrative, and also stating that their improvements were up to Maine DEP stormwater standards. Their site is proposed to be less than 3 acres of impervious surface, and therefore does not meet SLODA permitting thresholds. I believe their previous approvals were also for less than 3 acres, though their submittal states they are over 3 acres. I want to make sure the applicant understands that the stormwater permitting process, including modifications, is through the Maine DEP, not the City of Bangor. I have no issues with the site plan. I would like to make sure they understand who the permitting authority is for this application.
- The City will need the updated post-construction maintenance plan for site, including the proposed bioretention cell. Please send a copy of the MDEP stormwater permit modification application, which would include a post-construction maintenance plan.
- Attached is a sketch of the proposed parking layout with a minor adjustment. Would this alignment be more beneficial to the site?



269.48'

N57° 57' 11"W

10 FT SIDE YARD SETBACK
5-FT PARKING SETBACK

PROPOSED 3' WIDE CURB BREAK

LIMIT OF PROPOSED CONCRETE WALKWAY

LIMIT OF PROPOSED CONCRETE WALKWAY

LIMIT OF PROPOSED CONCRETE CURB

PROPOSED 4" THICK WHITE G 30" O.C. (TYPICAL)

PROPOSED LOADING AREA

VACANT ± 3,612 SF

SUBWAY ± 2,610 SF

VACANT ± 1,875 SF

SUPERCUTS ± 1,703 SF

VACANT ± 3,380 SF

GNC ± 1,785 SF

VERIZON ± 4,027 SF

PROPOSED 3' WIDE CURB BREAK

24'

9' (TYP.)

24'

18' (TYP.)

PROPOSED AREA LIGHT

PROPOSED 4" THICK WHITE STRIPING FOR ALL NON-ADA SPACES (TYPICAL)

PROPOSED FULL DEPTH ASPHALT REPAIR

APPROXIMATE AREA OF ASPHALT OVERLAY

PROPOSED 18" PAINTED LETTERING

STOP

PROPOSED 'STOP' (R1-1) SIGN AND 'DO NOT ENTER' (R5-1) SIGN

PROPOSED 18" PAINTED STOP BAR

20 FT FRONT YARD AND PARKING SETBACK

Re: 570 Stillwater Ave - Land Development Application Checklist

From Vaughan Littlefield <vaughan@bangorwater.org>

[REDACTED]

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Good morning,

Bangor Water District never received confirmation of how the existing fire service will be used, modified or abandoned. It enters the building in the portion which will be demolished.

Regards,
Vaughan Littlefield
Project Manager
Bangor Water District

[REDACTED]

From: Altiero, Matthew <matthew.altiero@bangormaine.gov>

[REDACTED]

Subject: Re: 570 Stillwater Ave - Land Development Application Checklist

Good morning,

Does anyone have any more questions for this applicant? If not, can you send your approvals? Thank you in advance!

Best,



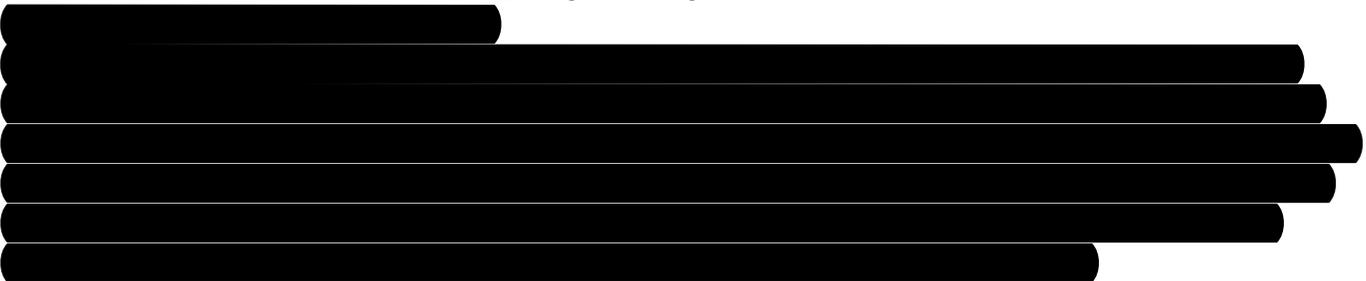
CITY OF BANGOR
Matthew Altiero, Planning Analyst
Community & Economic Development Department



Some people have received emails or letters from an unknown source pretending to be the municipality, stating that additional, exorbitant fees are required to finish processing applications. Please know that our fee schedule is available on the City's website, and we always require fees up front before reviewing an application, not after it's been put on a Planning Board agenda.

Please also call our office at 207-992-4280 or email us at planning@bangormaine.gov if you're unsure or if you have any questions.

From: Altiero, Matthew <matthew.altiero@bangormaine.gov>



Subject: Fw: 570 Stillwater Ave - Land Development Application Checklist

Hi all,

The attached email has the revisions and answers to the 570 Stillwater LDP checklist sent out in July. I will also reattach the original checklist.

Link: https://url.usb.m.mimecastprotect.com/s/FmurC7Dx4ltW6l2U8fDuoIO_t?domain=stonefieldengineering.sharepoint.com

Thank you,



CITY OF BANGOR
Matthew Altiero, Planning Analyst

Community & Economic Development Department

[Redacted]

[Redacted]

Subject: RE: 570 Stillwater Ave - Land Development Application Checklist

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Matthew – Please see the below link for the full Municipal Resubmission Package to the City of Bangor for 570 Stillwater Avenue. Please confirm the number of physical copies required for the City to review upon receipt and feel free to reach out with any questions or concerns on the package.

[2025-10-15_Municipal Resubmission](#)

Thank you,

Arturo Buenrostro

STONEFIELD

[Redacted]

[Redacted]

Subject: 570 Stillwater Ave - Land Development Application Checklist

CAUTION: External Email

Hello,

Attached is the land development application checklist for 570 Stillwater Ave with comments from the Development Team. Please let us know if you have any questions.

Best,



CITY OF BANGOR
Matthew Altiero, Planning Analyst
Community & Economic Development Department

FW: Permit 04-000175-A-N Proposed 2,477 SF Starbucks with Drive Through Window and 2,400 SF Retail Space - 570 Stillwater Avenue, Bangor Maine

[REDACTED]

Date Fri 12/5/2025 11:06 AM

[REDACTED]

[REDACTED]

FYI

Jefferson Davis, PLA
Director of Engineering
Maine Licensed Landscape Architect
City of Bangor
73 Harlow Street
Bangor, Maine 04401

[REDACTED]



[REDACTED]

Subject: RE: Permit 04-000175-A-N Proposed 2,477 SF Starbucks with Drive Through Window and 2,400 SF Retail Space - 570 Stillwater Avenue, Bangor Maine

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Good Morning Victoria,

Thank you very much for the letter summarizing the recently planned work at 570 Stillwater Avenue in Bangor. I agree that the work, as discussed in the letter, will result in a decrease in trips being generated by the site. Because of the decrease in trip generation, no additional permitting through MaineDOT is required for this project. This work all falls under the MaineDOT permit that was issued for this site in 2017.

I hope you have a joyous holiday season.

John Theriault, PE, PTOE
Region 4 Traffic Engineer

[Redacted]

Subject: RE: Permit 04-000175-A-N Proposed 2,477 SF Starbucks with Drive Through Window and 2,400 SF Retail Space - 570 Stillwater Avenue, Bangor Maine

EXTERNAL: This email originated from outside of the State of Maine Mail System. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John – Appreciate you taking the time to discuss the project with our team and providing the outline below of requested next steps. Please find attached a summary of the proposed scope of work and request to seek confirmation that no further action from the state is required at this time. As noted below the project falls under the MaineDOT permit that was issued in 2017 and the reduction in retail space will reduce traffic, therefore no additional permitting will be required and mitigation required under the 2023 permit is not required at this time.

In speaking with the Applicant at this time they would like to keep the 2023 permit in place understanding if no work takes place toward the project, that permit will expire by 8/11/2028.

Thanks,

Victoria Epstein
STONEFIELD

[Redacted]

[Redacted]

Subject: Permit 04-000175-A-N Proposed 2,477 SF Starbucks with Drive Through Window and 2,400 SF Retail Space - 570 Stillwater Avenue, Bangor Maine

CAUTION: External Email

Good Afternoon Josh,

I understand that Stonefield Engineering is currently working on a revision to the site at 570 Stillwater Avenue that includes the removal of a portion of the northerly existing building resulting in the reduction of approximately 3,856 square feet of retail space. The remaining portion of the building will be renovated for retail space similar to its current use. The area where the building will be removed will be redeveloped for additional site parking. The 9,440 SF building to the south of the site that was permitted in 2017 and completed in 2018 and includes the Aspen

Dental, T-Mobile Store, and Sleep Number Store, will remain unchanged. This discussed development all falls under the MaineDOT permit that was issued in 2017 for the construction the 9,440 SF retail building. With a reduction in retail space, it is likely that the site will also see a slight reduction in site traffic.

In August of 2023, this site was issued a permit for the development of a 2,477 SF Starbucks with drive through window service and 2,400 SF of new retail space. This permit included offsite mitigation for traffic signal upgrades and a fee towards improvements to the Gilman Road/Stillwater intersection. No work associated with this permit has begun and no mitigation has been provided to the City of Bangor or MaineDOT. If work does not begin on the Starbucks project before 8/11/2028, this permit will expire.

Because of the many recent changes to this site, MaineDOT would like the Developer's Engineer to provide a brief summary letter of what is currently permitted on the site for traffic and what the expected site generation resulting from the reduction of retail space is.

If the developer has no intention of developing the site as permitted in 2023, it may be clearer for the Department to rescind that permit such that no mitigation is expected of the Developer under the current plan. The Developer needs to formally request that the permit be rescinded for that to occur. If no work takes place toward the completion of the Starbucks, that permit will expire by 8/11/2028 as previously mentioned. Please let me know if you have any questions.

Sincerely,

John Theriault, PE, PTOE
Region 4 Traffic Engineer



Re: 570 Stillwater Ave comments

[Redacted]

Joshua,

The E buffer is required for new parking, the presence of the travel aisle between the parking and the street does not preclude this requirement.

Best Regards,



CITY OF BANGOR

Brenda Hanscom Bilotta
Deputy Director of Code Enforcement
Code Enforcement Office

[Redacted]

<http://www.bangormaine.gov>



From: Collette, Anja <anja.collette@bangormaine.gov>

[Redacted]

Subject: Re: 570 Stillwater Ave comments

Hi, Brenda, who is copied here, can give the confirmation of applicability of the buffer. However, she is out of the office for the week, returning Monday.

On the SLODA question, I can confirm that SLODA modification is not required for this project. I can't speak to the stormwater permitting portion since that's Engineering; I've copied Jeff and Rich though from Engineering who can answer that. It sounded like from our meeting though that stormwater was all set.



CITY OF BANGOR

Anja Collette, AICP

Planning Officer

Community & Economic Development

Planning Division

73 Harlow Street

Bangor, ME 04401

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – Thanks again for taking the time to meet with us this afternoon, we appreciate your help moving the application forward. We just wanted to follow-up confirming the items we are seeking clarification on that were discussed during the meeting. Pending feedback, we hope you can work with us to allow the application to go forward for approval at the January meeting.

1. Confirmation of Applicability of 'E-Buffer' Requirement – the Applicant is seeking confirmation and reference to the requirement for the 'E-Buffer'. During the pre-application meeting it was discussed that based on Section 165-73D(2) that if parking was not proposed fronting Stillwater Avenue than this requirement would not be applicable and the existing drive-aisle could remain. In previous applications and iterations of the concept plan parking was proposed fronting Stillwater Avenue which triggered the required buffer.
2. SLODA Applicability – It was noted on the call that the financial capacity letter was no longer required, can you provide clarification if the City / Engineering has determined that no further action from the City or state is required at this time. The original project in 2017 received a Stormwater Management Law Approval (Site Location of Development Law was not applicable given size of development).

Joshua H. Kline, PE

STONEFIELD

[REDACTED]

•

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

We will discuss the interpretation at the meeting on Monday.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Yes that works for us – in advance of the meeting can you have code enforcement confirm that maintaining the existing drive-aisle does not trigger the requirement for new buffering. If not can you have them provide support for the interpretation.

Joshua H. Kline, PE
STONEFIELD

[REDACTED]

•

From: Collette, Anja <anja.collette@bangormaine.gov>

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi Josh, yes, we can set up a meeting. Is your team available next Monday, the 22nd, at 3 pm EST?



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – Thanks for the feedback, can we set-up a meeting with the Planning and Code Enforcement to review the latest comments and ensure there are no new comments that may be forthcoming to help move the application forward. Based on our pre-application meeting it was discussed that as long as new parking was not proposed along the frontage than the existing drive-aisle could remain. Engineering's sketch relocates parking to the front which would require the buffer to be enforced. This is an existing condition that remains.

The traffic flow and patterns aligns with what was previously approved and would not create unsafe flow or condition. The applicant does not wish to introduce angled parking and/or increase impervious surfaces unnecessarily. At this time, they would like to move the application forward for approval.

Thanks,
Josh

Joshua H. Kline, PE

STONEFIELD

[REDACTED]

[REDACTED]

Subject: 570 Stillwater Ave comments

CAUTION: External Email

Hello, it was pointed out by Code Enforcement that because this project adds new parking, it requires an [E-buffer](#) (street trees) between the parking and the street. I understand this would require the pavement to be pulled in and therefore change the parking configuration. The City Engineer previously sent a proposed alternative design to the parking lot that would result in no loss to parking, but would also pull in the pavement enough to add a buffer, as well as improve the internal traffic flow in the lot. If angled parking was used in his design, two additional spots could also be added. We are concerned about the traffic flow in this parking area as currently designed, so we would like to see the design proposed by the City Engineer, along with the required street tree plantings between the parking and Stillwater.

The Water District also has the following comments:

The plans need to reflect that there is a fire service and domestic service currently serving this lot, not a singular service as shown. We need clarification on there intent for both services.

The fire service, if it is not required, needs to be cut and capped at the valve on the mainline. This is shown incorrectly still. Also they show the new domestic service being connected to the existing fire service lateral, this is also not an acceptable method.

We will also need new construction and fixture count forms for the building to ensure the domestic water service is sized correctly.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

Re: 570 Stillwater Ave comments

[REDACTED]

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

They still do not show the water services properly. The only service they show to the building which is being redeveloped is the fire service which they are calling to be capped at the main. They need to show the domestic service on the plans, we have sent them numerous tie-cards and GIS images. They also should accurately show the water main in Stillwater, they currently do not.

Regards,
Vaughan Littlefield
Project Manager
Bangor Water District

[REDACTED]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

Hi Adam, Matthew, and Vaughan, could we get comments or sign-offs from you on these revisions as soon as possible so that we can confirm this application for an agenda? Thank you!



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development

Re: 570 Stillwater Ave comments

[REDACTED]

Hey Anja, sorry about missing this. I don't have additional comments on the site.

Thank you!
Adam



CITY OF BANGOR

Adam Vachon

Fire Inspector, CFI-1

Fire Prevention Division

[REDACTED]

[REDACTED]

Subject: Fw: 570 Stillwater Ave comments

Hi Adam, just following up on this.



CITY OF BANGOR

Anja Collette, AICP

Planning Officer

Community & Economic Development

Planning Division

73 Harlow Street

Bangor, ME 04401

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

Subject: Fw: 570 Stillwater Ave comments

Hi all,

The attached email contains revisions for 570 Stillwater. If anyone has any issues accessing them, please let me know and I will resend them. Please send over any comments you have, if you do not have any, can you please send over a sign-off? Thank you!

Best,



CITY OF BANGOR

Matthew Altiero, Planning Analyst

Community & Economic Development Department

[Redacted]

Some people have received emails or letters from an unknown source pretending to be the municipality, stating that additional, exorbitant fees are required to finish processing applications. Please know that our fee schedule is available on the City's website, and we always require fees up front before reviewing an application, not after it's been put on a Planning Board agenda.

RE: 570 Stillwater Ave comments

[REDACTED]

Hi Anja,

Yes that is sufficient. Any changes to the site or any supplemental information DEP requires should be forwarded to us. Thank you.

Jefferson Davis, PLA
Director of Engineering
Maine Licensed Landscape Architect
City of Bangor
73 Harlow Street
Bangor, Maine 04401

[REDACTED]



[REDACTED]

Subject: Fw: 570 Stillwater Ave comments

Thoughts? Is this sufficient for you along with a condition on this for Planning Board approval?



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

Re: 570 Stillwater Ave comments

[Redacted]

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

I am on vacation this week, but after looking at the most recent pdf set of plans. They show a completely new domestic water service, and they show the existing fire service being abandoned. Both are acceptable, pending review of the fixture count form for verification of the size.

One remaining issue, they still do not show the existing domestic water service on the plans. I am not sure why, all of that information has been provided multiple times? If the domestic isn't being reused, they will need to put a note on the plan that the service will need to be capped and abandoned at the main.

Vaughan Littlefield

Get [Outlook for iOS](#)

[Redacted]

Subject: Fw: 570 Stillwater Ave comments

Hi Vaughan, please let us know if the revised plans meet your needs.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[Redacted]

[Redacted]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – Please see the below share link for the revised Site Plans. Please let us know if you have any initial comments/concerns with the updates made as you review. We look forward to getting this on the agenda and moving this forward!

[2026-02-18_Municipal Resubmission](#)

Thank you,

Arturo Buenrostro
STONEFIELD

[Redacted]

[Redacted]

Sent: Wednesday, February 18, 2026 2:16 PM

RE: 570 Stillwater Ave comments

[Redacted]

1 attachment (6 MB)

2026-02-18_(FS)-DRFT-Site Plans_Stillwater Bangor, ME.pdf;

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Sure thing Anja, appreciate the quick review. Please see attached for the updated plans.

PLANT SCHEDULE							
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DETAIL
DECIDUOUS TREES							
	GSH	4	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2.5" - 3" CAL	B&B	NATIVE (VARIETY)
	NYS	5	NYSSA SYLVATICA	SOUR GUM	2.5" - 3" CAL	B&B	NATIVE

Giovanni M. Cesar
STONEFIELD

[Redacted]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi there, I just have one very minor comment on the revised plans. On the planting plan on page C-9, the table says 4 Nyssa Sylvaticas are proposed, but the drawing shows 5. Can you correct this?



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[Redacted]

[Redacted]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

[REDACTED]

Subject: RE: Pre-Application Meeting Request - Alrig Bangor, MA (570 Stillwater Ave)

Emily – In advance of our meeting next week, we wanted to pass along the update plan set and resubmission package in the below share link. Town Planning had a few comments to the parking layout which changed a bit of the stormwater design but the overall intent of the plan remains consistent. The files have been uploaded to the MELS portal as well. Please feel free to forward to Kris and/or anyone else from your team.

 [2026-02-09_Resubmission Package to DEP](#)

Thank you,

Giovanni M. Cesar
STONEFIELD

[REDACTED]

[REDACTED]

Subject: RE: Pre-Application Meeting Request - Alrig Bangor, MA (570 Stillwater Ave)

CAUTION: External Email

Hi Giovanni,

Let's meet on Thursday (2/19) at 1:00 if that works for your team. Kris Bears (stormwater engineer) will be joining us. I'll send a Teams invite shortly.

Thanks,
Emily

Re: 570 Stillwater Ave comments

[REDACTED]

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Looks good, thank you! Our comments have all been met.

Vaughan

Get [Outlook for iOS](#)

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

Vaughan – appreciate you returning our call to connect and review these final comments. Please see attached updated plan set.

Thank you,

Giovanni M. Cesar
STONEFIELD

[REDACTED]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

The demolition of the existing water services is correctly shown now. The last item to address is separation between the proposed 2" water service and the electrical service. This needs a minimum separation of 4 feet face to face. All else looks fine.

Regards,
Vaughan Littlefield
Project Manager
Bangor Water District

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

[REDACTED]

Anja – Please see attached updated civil plans with the cut and cap at the main as shown. Let us know if this satisfies the BWD's requested updates.

Thank you,

Giovanni M. Cesar
STONEFIELD

[Redacted]

[Redacted]

Subject: Re: 570 Stillwater Ave comments
Importance: High

CAUTION: External Email

Hello, has this been resolved? We are working on the Planning Board packets for next week's meeting so need to see the newest revised plans if changes have been made since last week.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[Redacted]

[Redacted]

Subject: Re: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Josh,

What you are showing there is the existing fire service. It is being shown capped at the main which is correct. You need to show the existing domestic service also being capped at the main as you are installing a new domestic service.

There are currently two services to 570 Stillwater, one fire and one domestic. BWD has sent those tie cards multiple times, but it still isn't shown correctly.

Call me Monday and we can discuss. Playing tag through email isn't working.

[Redacted]

Thanks,
Vaughan Littlefield

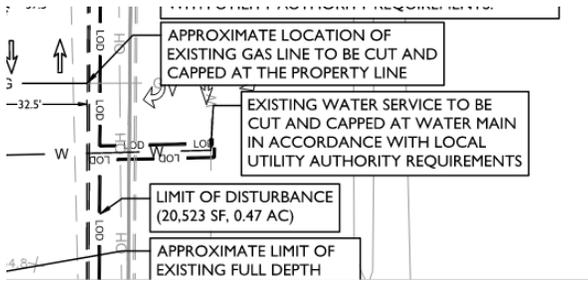
Get [Outlook for iOS](#)

[Redacted]

Subject: RE: 570 Stillwater Ave comments

[Redacted]

Anja – This is shown on Sheet C-3



Joshua H. Kline, PE
STONEFIELD

[Redacted]

[Redacted]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Thank you for that. The Water District got back to us and had one remaining comment - the existing domestic water service isn't shown on the plans; if it's not planned to be reused, there needs to be a note on the plan that the service will be capped and abandoned at the main.

That's the last comment on this overall.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
 Bangor, ME 04401

[Redacted]

[Redacted]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Sure thing Anja, appreciate the quick review. Please see attached for the updated plans.

PLANT SCHEDULE							
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DETAIL
DECIDUOUS TREES							
	GSH	4	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2.5" - 3" CAL	B&B	NATIVE (VARIETY)
	NYS	5	NYSSA SYLVATICA	SOUR GUM	2.5" - 3" CAL	B&B	NATIVE

Giovanni M. Cesar
STONEFIELD

[Redacted]

[Redacted]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi there, I just have one very minor comment on the revised plans. On the planting plan on page C-9, the table says 4 Nyssa Sylvaticas are proposed, but the drawing shows 5. Can you correct this?



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – Please see the below share link for the revised Site Plans. Please let us know if you have any initial comments/concerns with the updates made as you review. We look forward to getting this on the agenda and moving this forward!

[2026-02-18_Municipal Resubmission](#)

Thank you,

Arturo Buenrostro
STONEFIELD

[REDACTED]

[REDACTED]

Sent: Wednesday, February 18, 2026 2:16 PM

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi Josh, just following up on this. Do you have revised digital plans we could see?



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street

Bangor, ME 04401

[REDACTED]

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Plans will be issued tomorrow – we received additional direction from water department today on what they would like to see. Thanks!

Joshua H. Kline, PE

STONEFIELD

[REDACTED]

•

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

CAUTION: External Email

Hi Josh, just following up on this. If possible, please send us revised plans showing the correct water line locations and the E-buffer by tomorrow so that we can send out notices to abutters by Thursday.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street

Bangor, ME 04401

[REDACTED]

[REDACTED]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

I believe so; CC'ing Vaughan for confirmation. I've attached an image of the GIS water layer for this site. I can send the actual GIS layer for this area later as well if that's needed.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – We can make the updates, but to be clear the comment is referencing the location of the existing water mains within the right-of-way (we just want to confirm as the email is ambiguous)? Please send GIS images noted below for us to be able to incorporate.

We appreciate you getting us on the March meeting, it is critical the application moves forward in March.

Thanks,
Josh

Joshua H. Kline, PE
STONEFIELD

[REDACTED]

[REDACTED]

[REDACTED]
Subject: Fw: 570 Stillwater Ave comments

CAUTION: External Email

Hi Josh, this sounds like a pretty simple change to the plans. If you can just make those edits to how the water lines are shown and show the E buffer along the street, and get us revised plans by early next week, I believe we can put this on the March 3rd agenda. Please just send digital copies, not hard copies yet. And our City Engineer was good with what you sent on the DEP meeting so that part is satisfied.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]
[REDACTED]

[REDACTED]
[REDACTED]
[REDACTED]

Subject: Re: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

It is still an issue, I can also resend our GIS images. The water lines are still shown incorrectly.

Vaughan

Get [Outlook for iOS](#)

[REDACTED]
[REDACTED]
[REDACTED]

Subject: Re: 570 Stillwater Ave comments

If this is just an issue with showing the correct locations of the water lines, we can send our utility GIS layer to help make that change.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]
[REDACTED]

[REDACTED]
Sent: Wednesday, February 11, 2026 8:39 AM

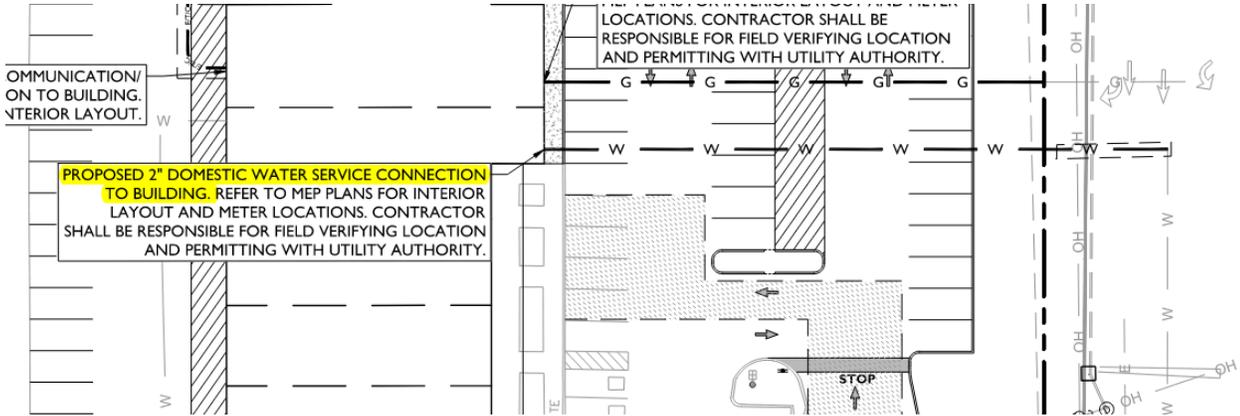
[REDACTED]

Subject: RE: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

Anja – We will coordinate with Vaughan to ensure we are aligned as the project moves forward but as discussed at the meeting this comment should not hold up the applicant's ability to proceed at the next available meeting.

For reference on Sheet C-6 of the latest plans a new domestic service is shown – we will coordinate with Vaughan as he may be allowing us to pick-up the existing domestic service versus a new tap.



Joshua H. Kline, PE
STONEFIELD

[REDACTED]

[REDACTED]

Subject: Fw: 570 Stillwater Ave comments
Importance: High

CAUTION: External Email

Hi Josh, please see the comments below from the Water District.



CITY OF BANGOR

Anja Collette, AICP
Planning Officer
Community & Economic Development
Planning Division

73 Harlow Street
Bangor, ME 04401

[REDACTED]

[REDACTED]

Subject: Re: 570 Stillwater Ave comments

WARNING: EXTERNAL EMAIL - DOUBLE CHECK THE SENDER'S ADDRESS BEFORE OPENING LINKS OR ATTACHMENTS.

They still do not show the water services properly. The only service they show to the building which is being redeveloped is the fire service which they are calling to be capped at the main. They need to show the domestic service on the plans, we have sent them numerous tie-cards and GIS images. They also

should accurately show the water main in Stillwater, they currently do not.

Regards,
Vaughan Littlefield
Project Manager
Bangor Water District

[Redacted]

[Redacted]

Subject: Re: 570 Stillwater Ave comments

Hi Adam, Matthew, and Vaughan, could we get comments or sign-offs from you on these revisions as soon as possible so that we can confirm this application for an agenda? Thank you!



CITY OF BANGOR

Anja Collette, AICP

Planning Officer

Community & Economic Development

Planning Division

73 Harlow Street

Bangor, ME 04401

[Redacted]

[Redacted]

Subject: Fw: 570 Stillwater Ave comments

Hi all,
The attached email contains revisions for 570 Stillwater. If anyone has any issues accessing them, please let me know and I will resend them. Please send over any comments you have, if you do not have any, can you please send over a sign-off? Thank you!
Best,



CITY OF BANGOR

Matthew Altiero, Planning Analyst

Community & Economic Development Department

[Redacted]

570 STILLWATER AVENUE -- ABUTTERS WITHIN 100FT			
Owner	Owner 2	Owner Address 1	Owner Address 2
No Limits, LLC		PO Box 458	Winterport, Maine 04496
JBN Properties Inc.		52 Gilman Road	Bangor, Maine 04401
Bangor Mall Realty LLC	Bangor CH, LLC & Bangor Nassim, LLC, attn: Namdar Realty Group	150 Great Neck Road, Suite 304	Great Neck, NY 11021
ERG Realty LLC		PO Box 2400	Bangor, Maine 04402-2400
605 Stillwater Avenue, LLC		3280 Sunrise Highway, Suite 77	Wantagh, NY 11793



COMMUNITY & ECONOMIC DEVELOPMENT

CITY OF BANGOR

PLANNING DIVISION

PUBLIC NOTICE

Date: February 19, 2026

Dear Property Owner:

Please be advised that the Planning Board of the City of Bangor will hold a public hearing on Tuesday, March 3, 2026, beginning at 7:00 p.m. in the City Council Chambers at Bangor City Hall (73 Harlow Street) and will consider the following application:

Land Development Permit Application – Major Site Development for proposed demolition of front building and expansion of parking lot located on 570 Stillwater Avenue, Map Lot R62-001, in the Shopping & Personal Service District (S&PS). Applicant/Owner: Bangor Retail Management LLC

A full copy of the application can be emailed or mailed to any interested party by emailing a request to planning@bangormaine.gov or calling the office at 207.992.4257. Copies of the application can also be picked up at City Hall. To submit comments in writing, please email comments to planning@bangormaine.gov or mail to 73 Harlow Street before 4 PM, March 2nd, 2026. Interested parties can also make an appointment by email or phone to meet with Planning Division staff in person or on Zoom.

The public is welcome to attend the meeting in person or via Zoom. Public comments are allowed over Zoom; however, you must register before 9 AM, March 3rd at <https://bangormaine.gov/504/Meeting-Participation>. Zoom details can be found at the city's website under www.bangormaine.gov/calendar. The Planning Board meeting may be streamed live via the City of Bangor's YouTube page; however, comments are not enabled during streaming. Please call our office if you have questions about the process or participation in the hearing process.

Anja Collette
Planning Officer
City of Bangor



Bangor is rewriting its Land Development Code! For more details and to sign up for updates, visit www.blueprintbangor.com

73 HARLOW STREET, BANGOR, ME 04401
TELEPHONE: (207) 992-4280 FAX: (207) 945-4447
WWW.BANGORMAINE.GOV



COMMUNITY & ECONOMIC DEVELOPMENT

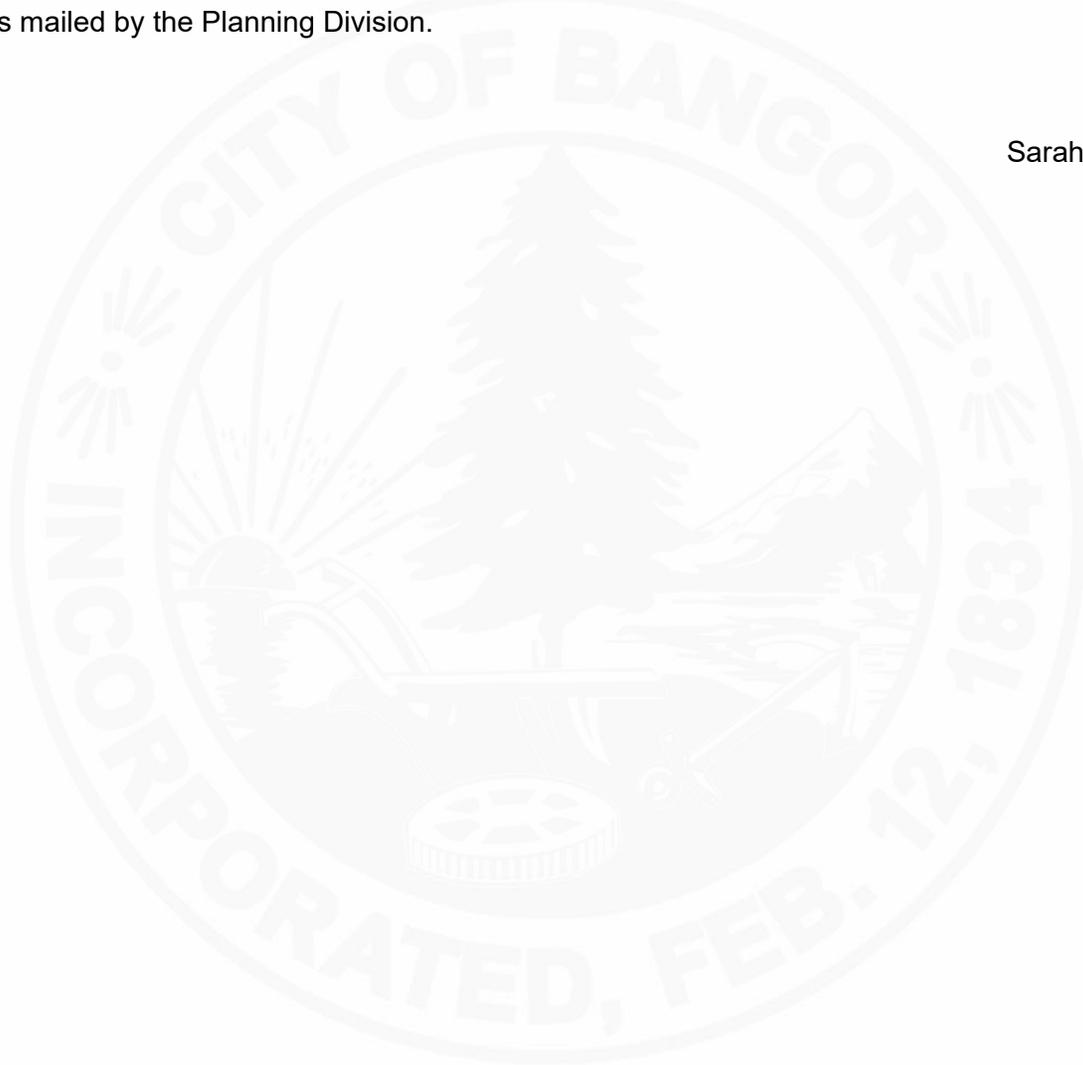
CITY OF BANGOR

PLANNING DIVISION

Re: SDP – 570 Stillwater Avenue – Bangor Retail Management – Notice of Mailing

On February 20, 2026, the Public Notice for 570 Stillwater Avenue – Bangor Retail Management, advising that the Planning Board of the City of Bangor will hold a public hearing on Tuesday, March 3, 2026, was mailed by the Planning Division.

Sarah Maquillan





Climate Migration Through an Economic Lens

January 27, 2026

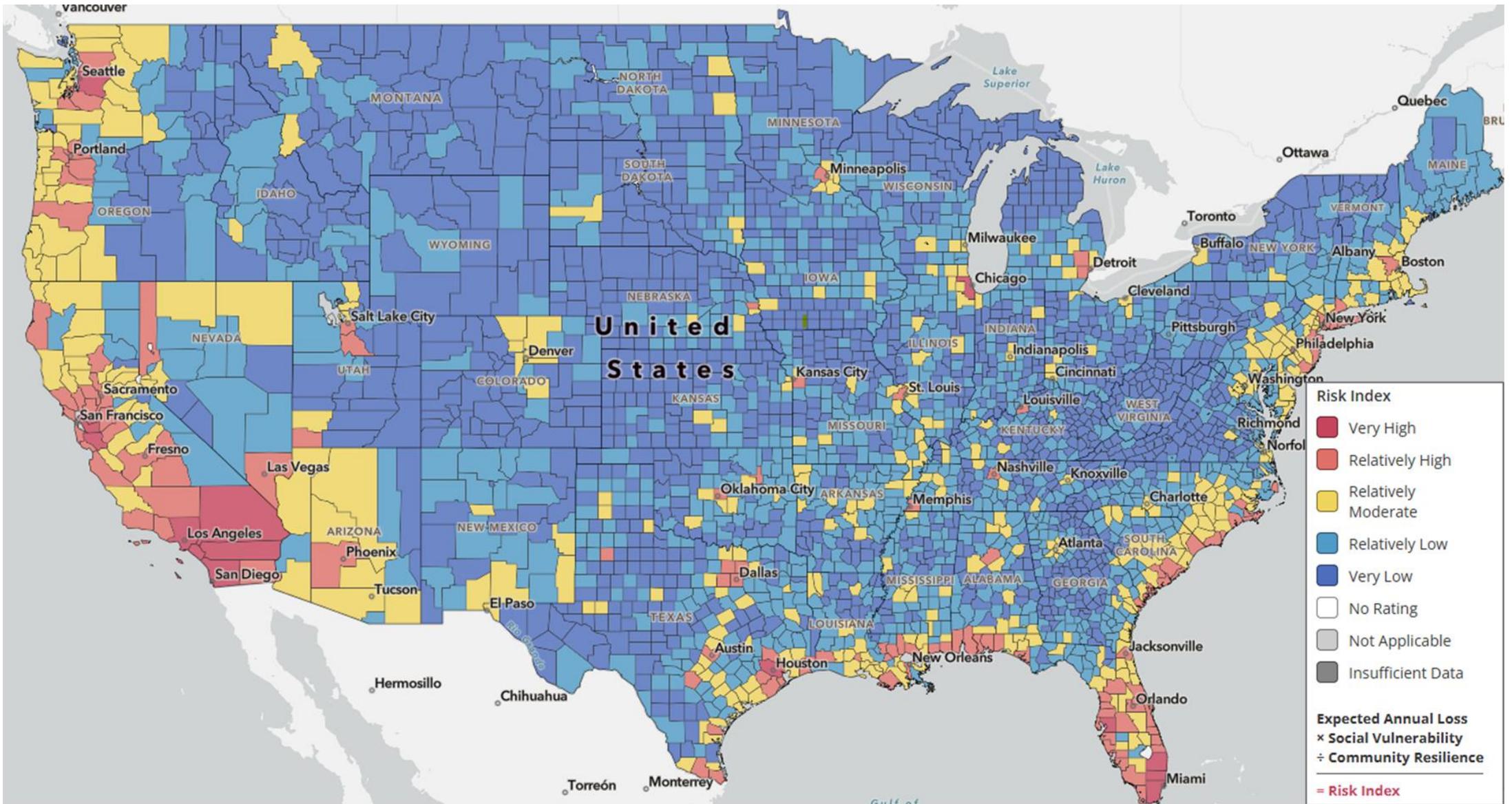
passivhausMaine and E2Tech: Climate Migration in Maine Panel Discussion

Laura M. Yeitz, Data Communication Specialist
Maine Office of the State Economist

**Let's start by looking at
something ...**

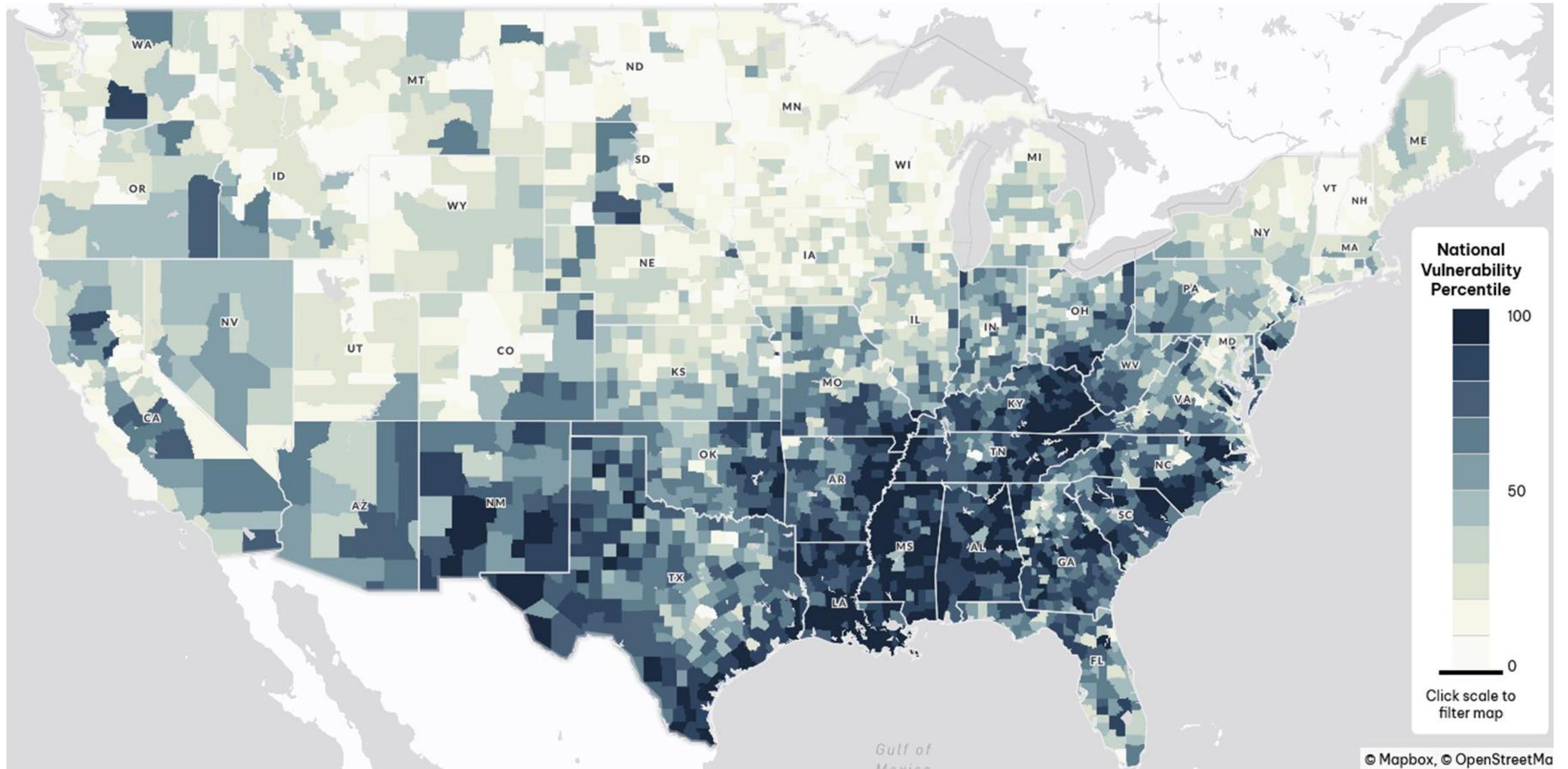
FEMA National Risk Index

Combined measure of expected natural hazard losses, social vulnerability, and community resilience



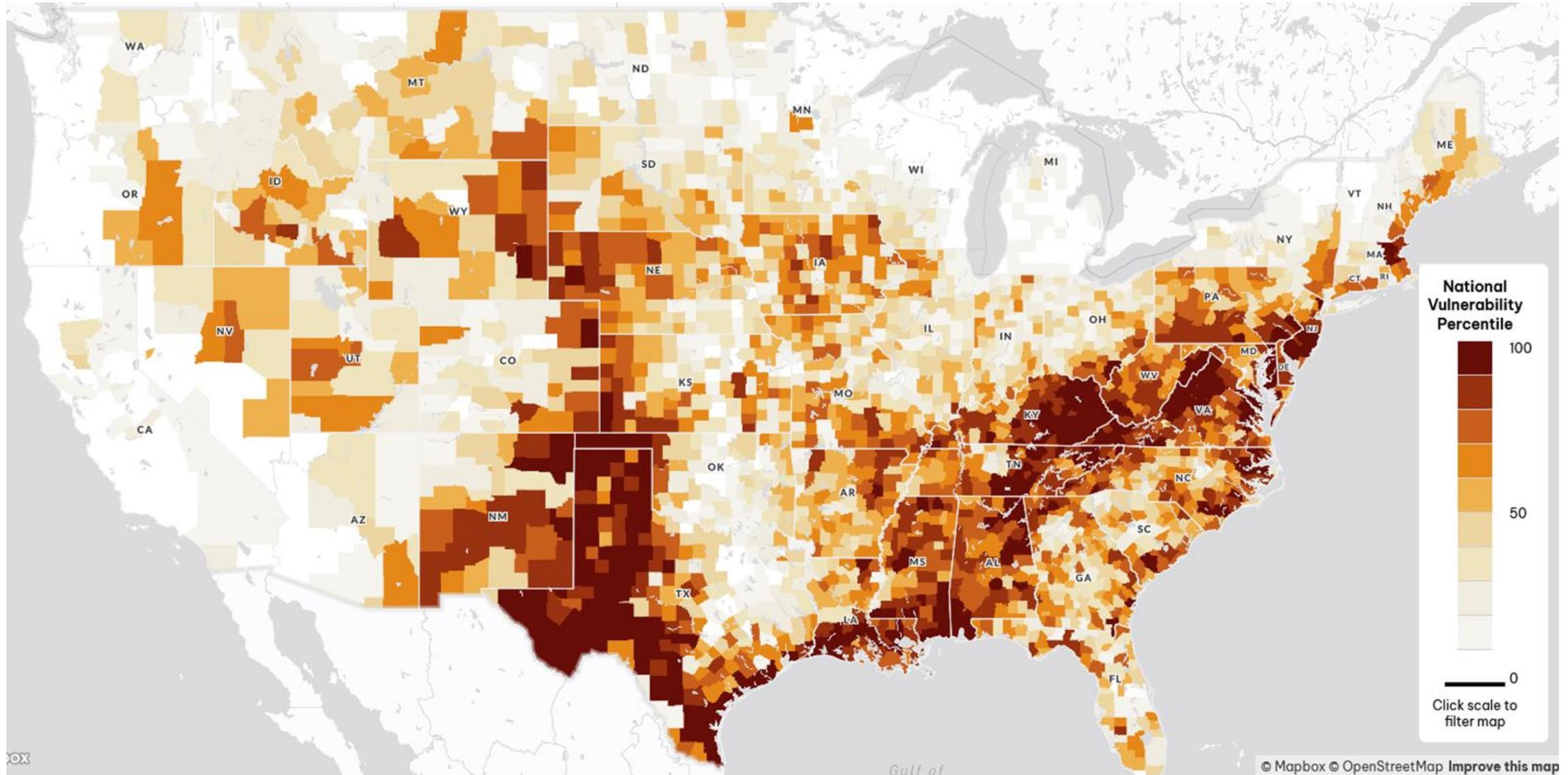
Overall Climate Vulnerability by County

Score combining environmental, social, economic, and infrastructure effects on local stability



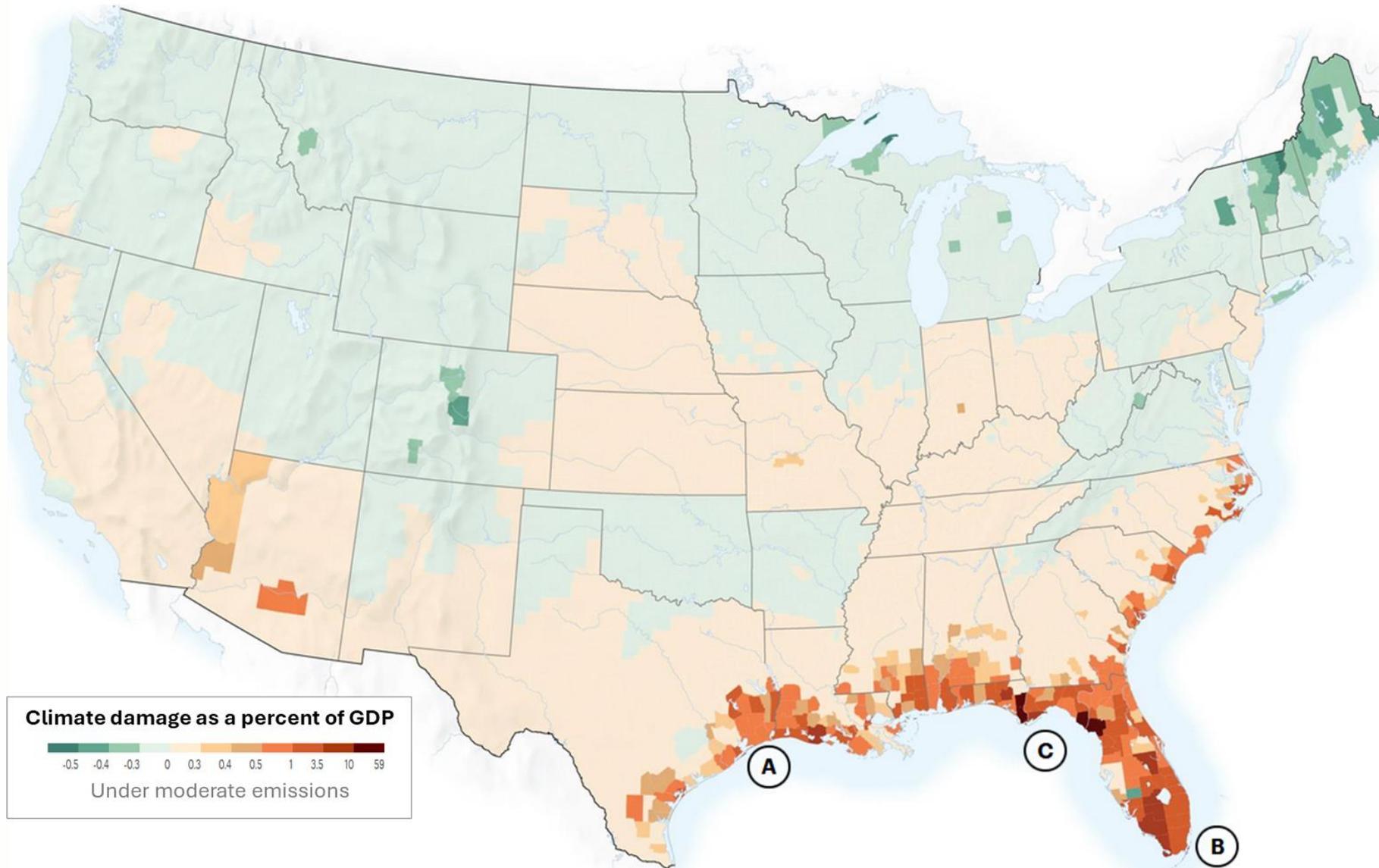
Climate Impacts by County

Measures vulnerability to environmental and economic disruptions related to climate impacts



Estimated Economic Damages from Climate, 2040-2060

Net economic impact from climate change by county, shown as share of local GDP

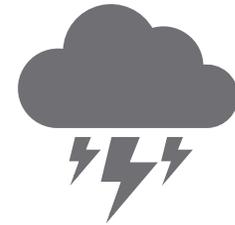


What is Climate Migration?

Climate Migration is the movement of people from their homes – permanently or temporarily – due to climate-related events and change

Climate Migrants are people who leave their homes – forcibly or voluntarily – because of these changes

Exists on a spectrum



Sudden-onset events or disasters (hurricanes, floods, wildfires)

Everything in between (recurring floods, extreme heat)

Slow-onset (sea level rise, drought, temperature changes)



Forced, highly visible, trackable

Voluntary, “invisible”, difficult to track

Difficult to Measure

Climate event spectrum (visible to invisible)

Mixed motivations (climate + economic + social)

Limited data (historical, current, future)

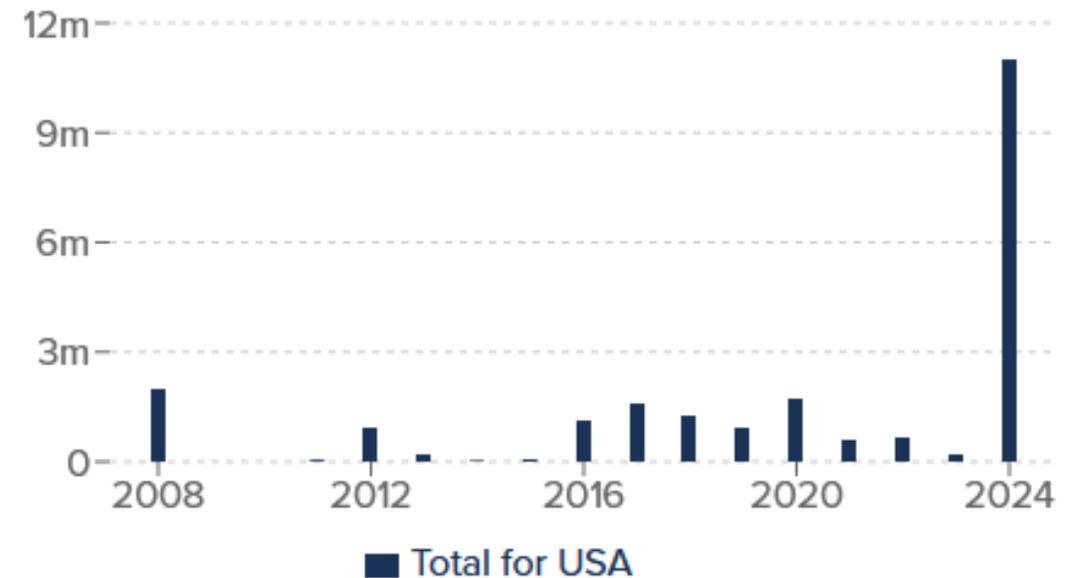
The National Context:

What Empirical Evidence Shows About Climate Migration

What's Measurable - Internal Displacement

22.3 million people internally displaced in U.S. (2008-2024)

as a result of severe storms, wildfires, flood events, and other climate-related environmental disasters



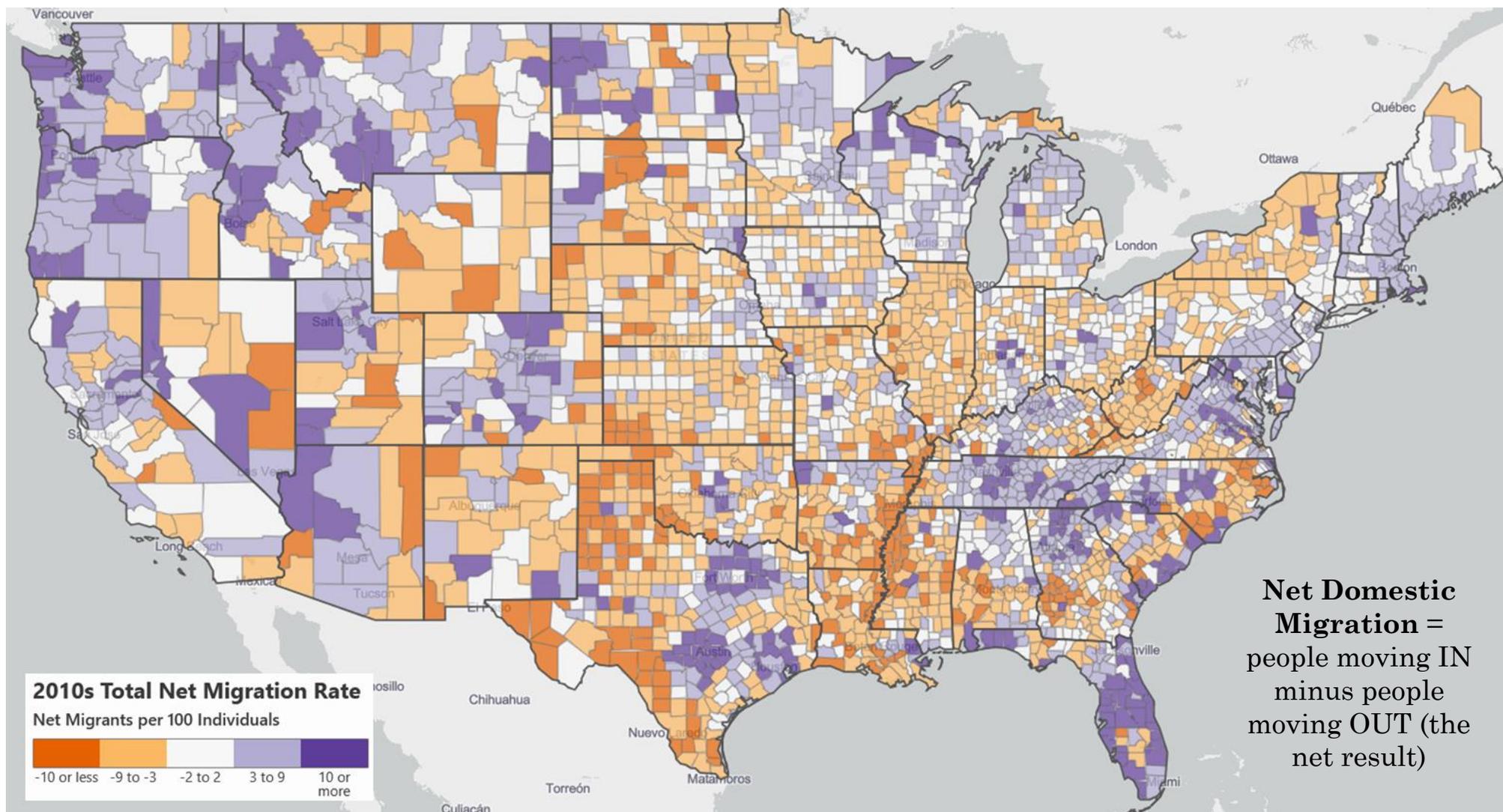
Where Are People Moving Within the U.S.?

Domestic Migration Patterns: Past, Present, and Future

Where People Moved in the 2010s

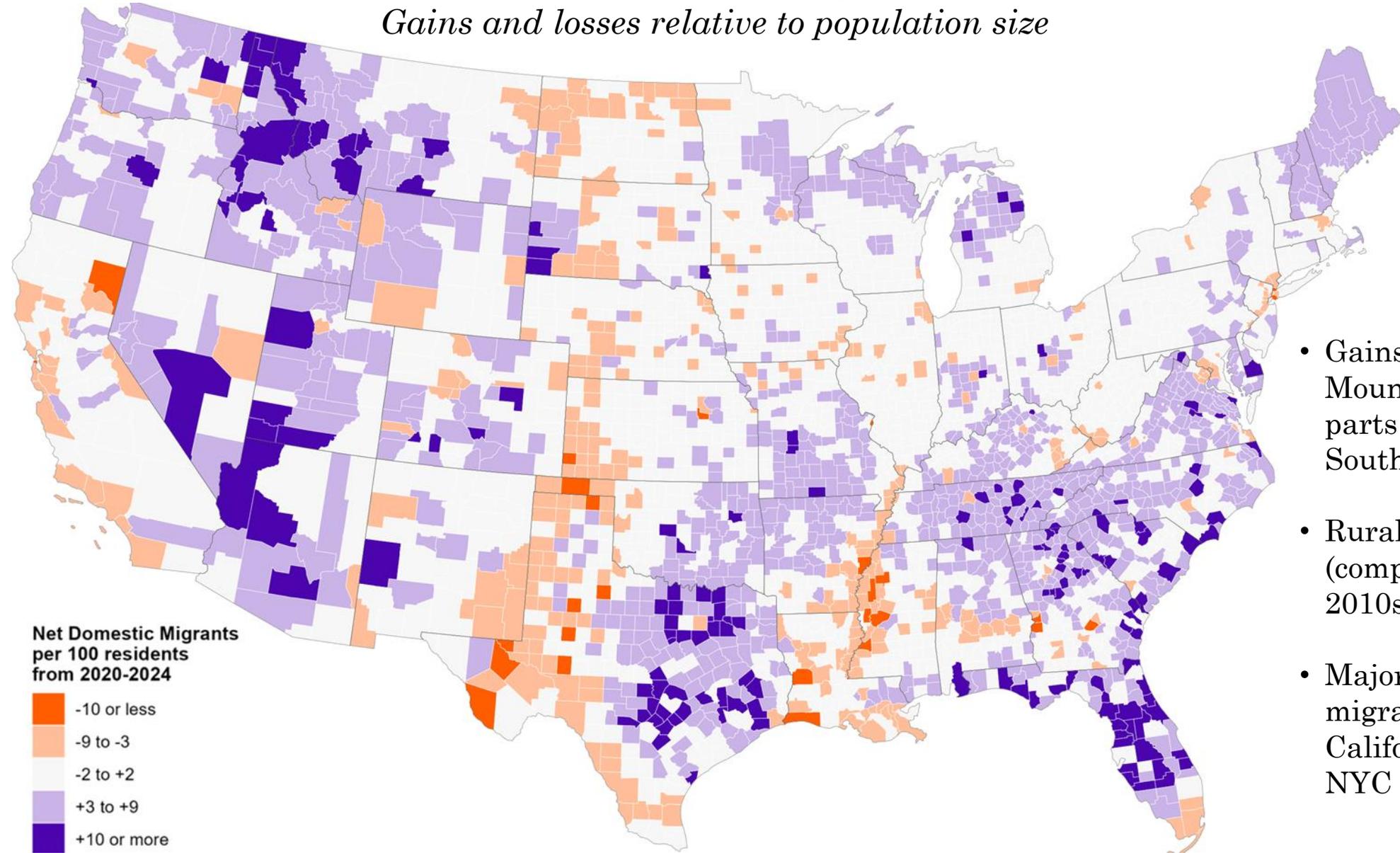
Gains and losses relative to population size

- Strong **IN-migration**: Florida, parts of Texas & Southeast, Mountain West
- Widespread **OUT-migration**: Midwest, Great Plains
- Mixed patterns: Maine/northern New England



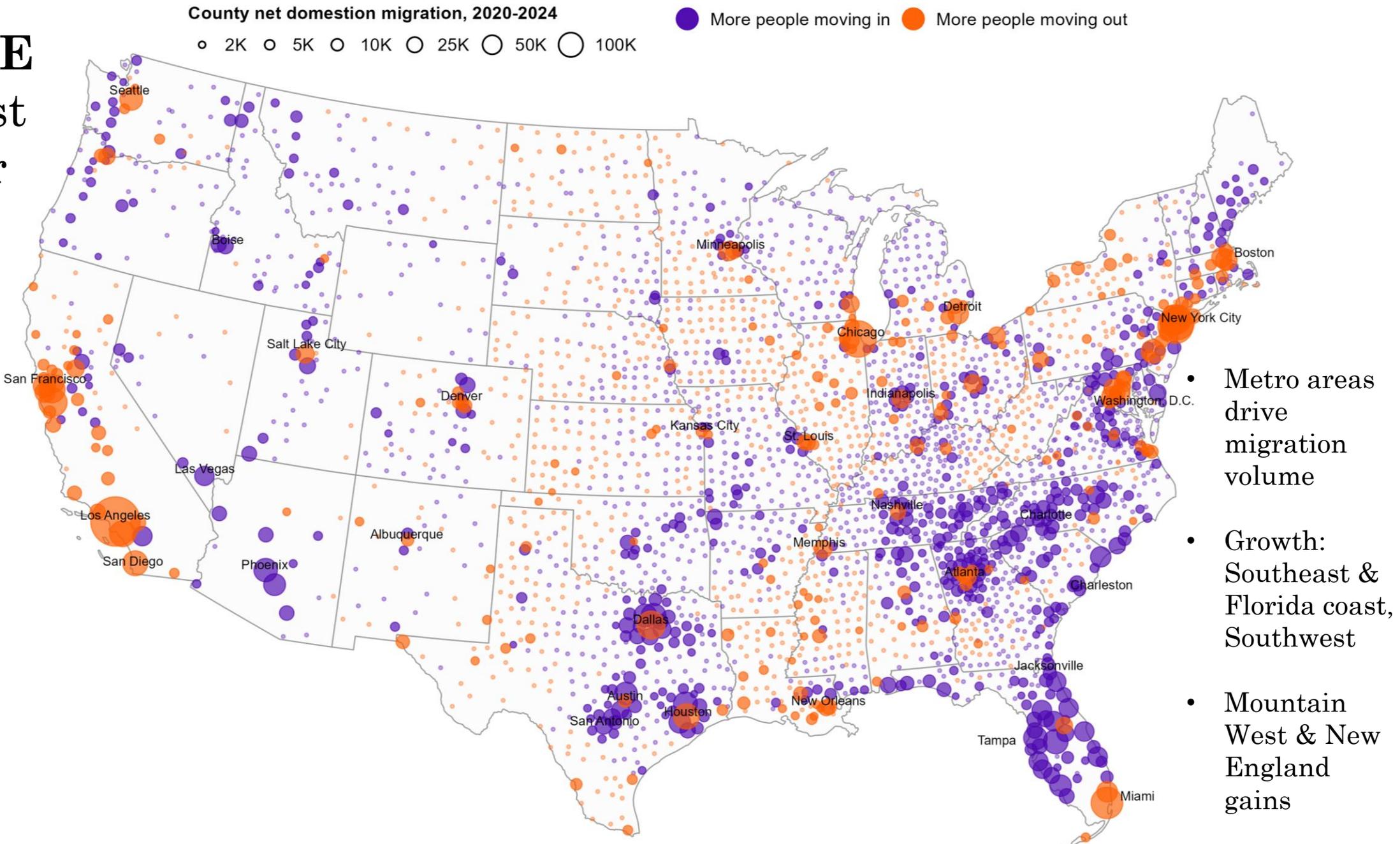
Where People Are Moving Now (2020-2024)

Gains and losses relative to population size



- Gains: Southeast, Mountain West, parts of Texas & Southwest
- Rural Maine gains (compared with 2010s)
- Major metro out-migration: California coast, NYC area

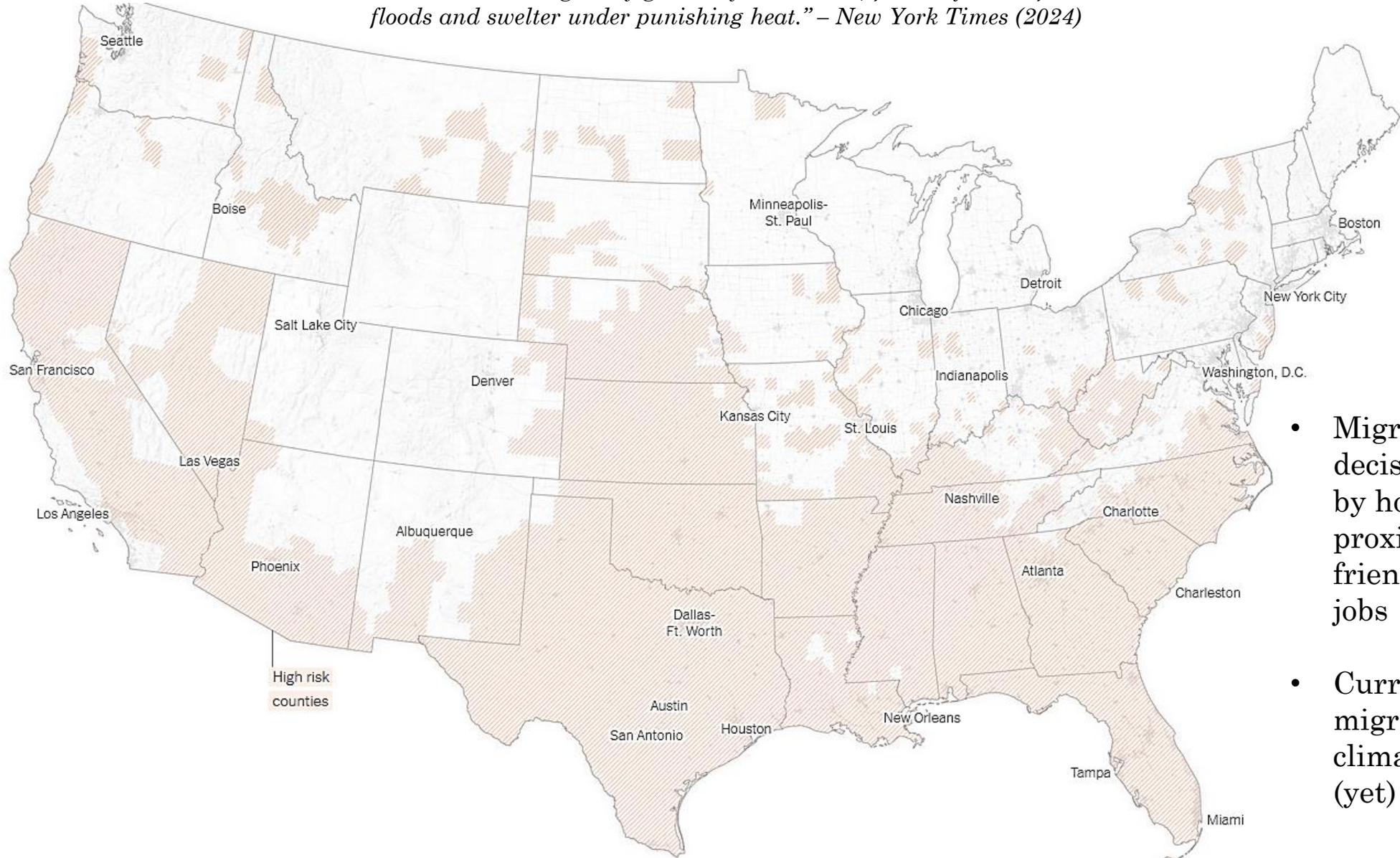
WHERE the most number people moved **IN** vs. **OUT** (2020- 2024)



Overlap between high-risk areas and growth regions particularly in Texas, Florida, Southeast, and parts of California, Arizona

High risk of natural disaster and extreme heat

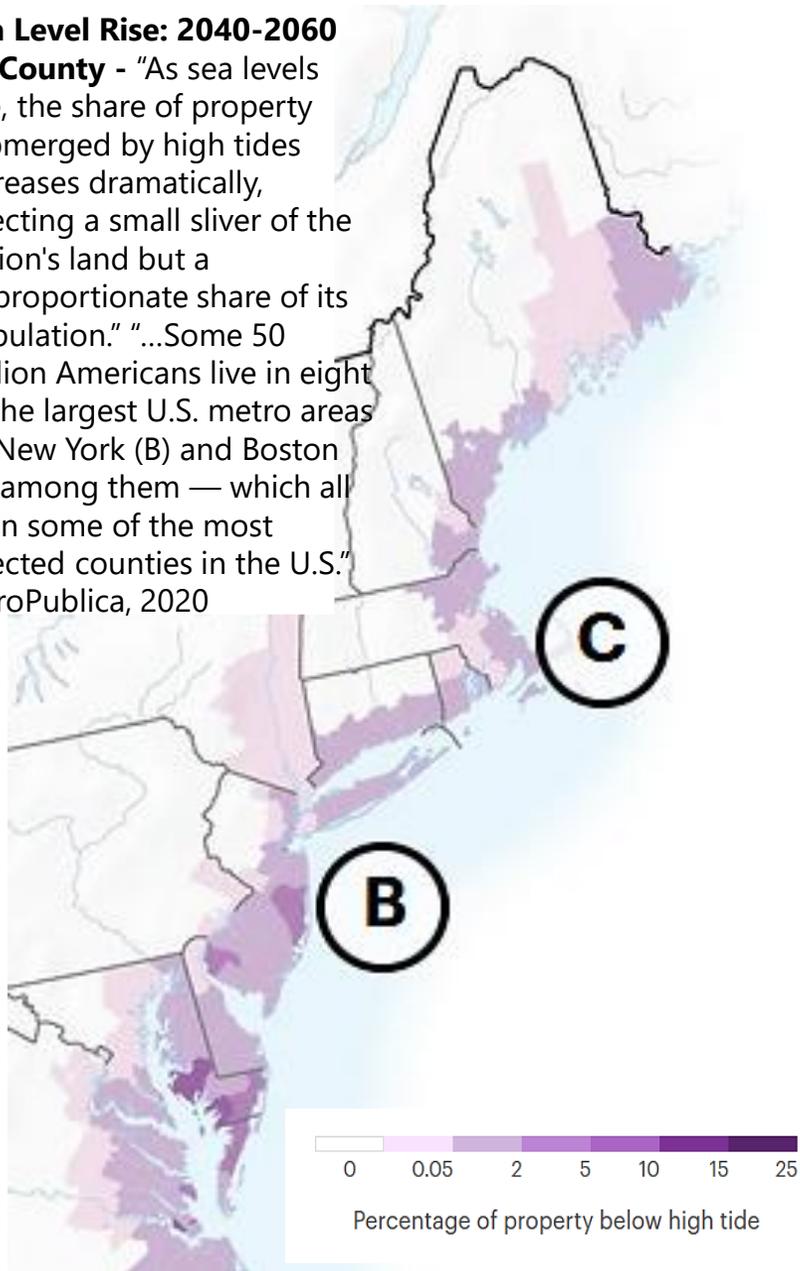
“These U.S. counties regularly get hit by hurricanes, face major wildfires and floods and swelter under punishing heat.” – New York Times (2024)



- Migration decisions driven by housing costs, proximity to friends/family, jobs
- Current migration ≠ climate-driven (yet)

Sea Level Rise: 2040-2060

by County - "As sea levels rise, the share of property submerged by high tides increases dramatically, affecting a small sliver of the nation's land but a disproportionate share of its population." "...Some 50 million Americans live in eight of the largest U.S. metro areas — New York (B) and Boston (C) among them — which all lie in some of the most affected counties in the U.S."
– ProPublica, 2020



The Coastal Challenge

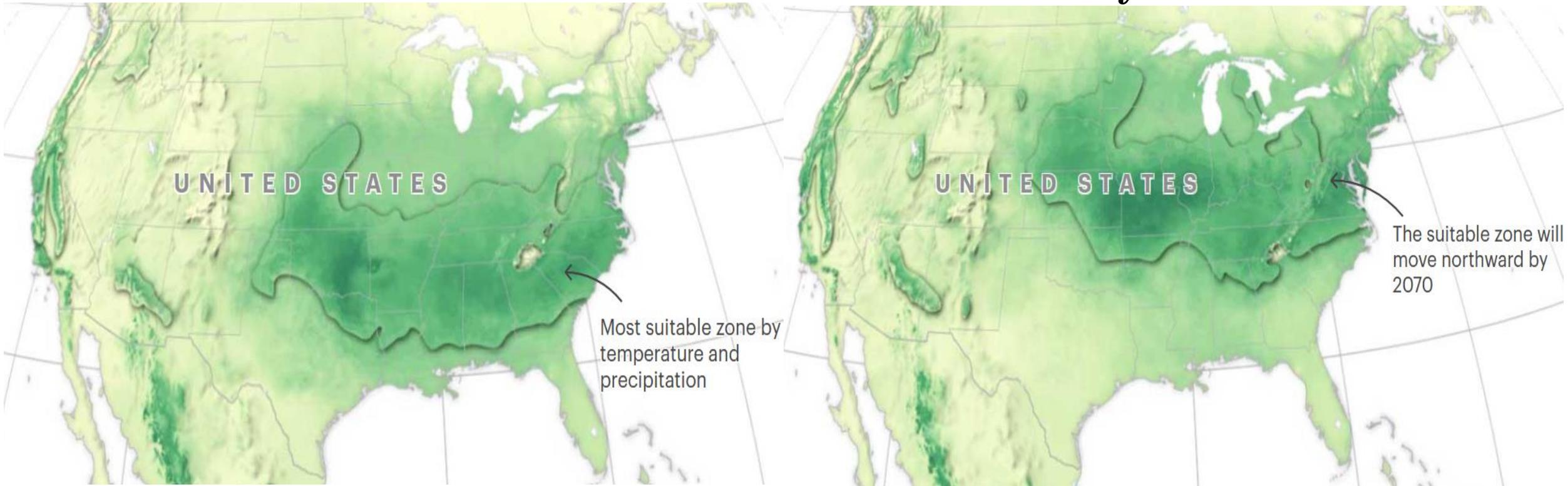
- Coastal areas face compounding climate risks: sea-level rise + storms + flooding + other risks
- Coastal areas cover ~ 10% of U.S. land but home to about 40% of the population, as of 2020
- In Maine, 55% of the population lives in coastal counties (2024)

Long-Term Climate Migration Patterns

Optimal climate zones shift northward

Now

By 2070

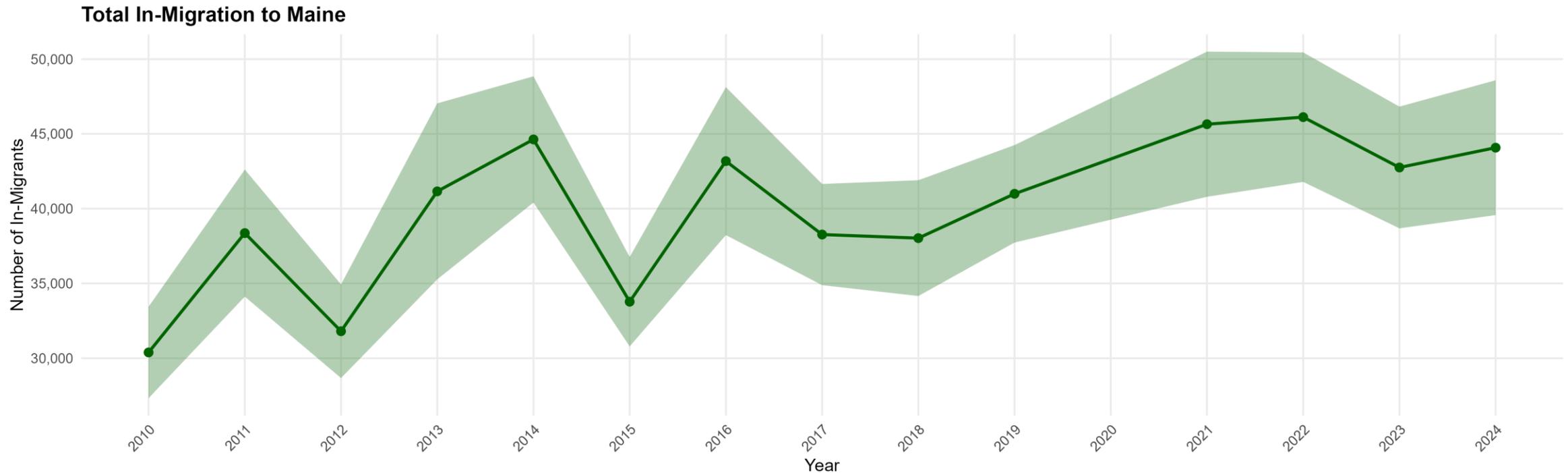


Maine In-Migration Trends

In-Migration Patterns and Local Context

Maine's Migration Trends

- Total in-migration trending upward – includes all people who moved to Maine from another US state and abroad



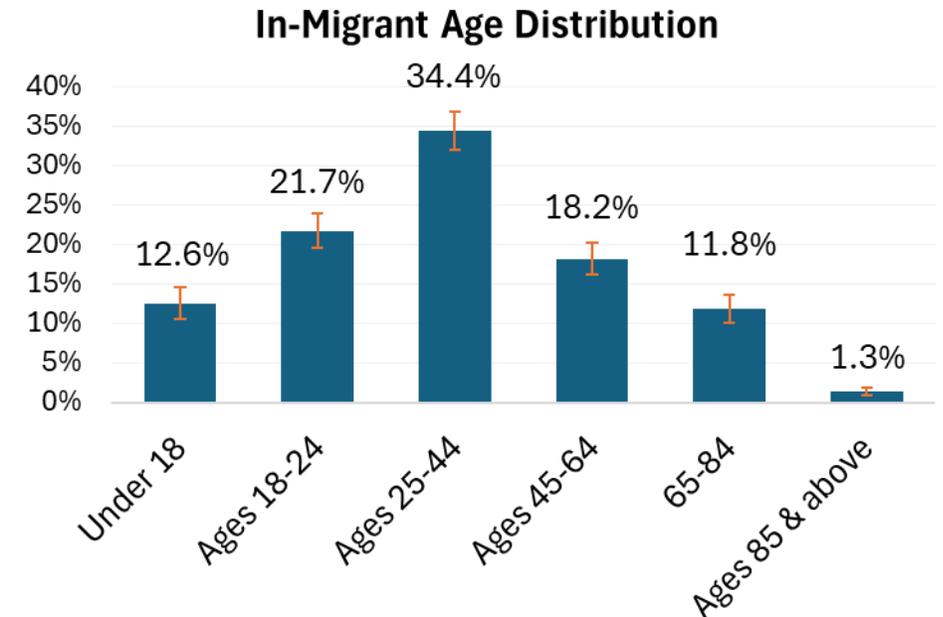
- 91% domestic, 9% abroad
- **42% of domestic in-migrants moved from a New England state.** Top origin states include MA (15%), NH (15%), FL (9%), CA (7%), NY (5%), CT (5%) PA (4%)

Who's Moving to Maine

What We Know About Recent Arrivals

KEY FINDINGS:

- **Median age is 31** – younger than statewide median age (44.8 years)
 - Maine has highest median age in U.S., but unchanged since 2020
- **56.1% bachelor's degrees or higher** compared to 35.3% statewide
- **Slightly more females (51%)** than males (49%)



Why move to Maine? Climate as a factor?

And other factors that influenced the decision to move to Maine

- Climate influenced some decisions but was not a primary driver
- Outdoor recreation amenities, being closer to friends/family/networks, remote work/economic opportunity, and community safety topped the list
- **Climate often one factor among many**

What level of influence do you think weather or climate-related issues (more intense droughts, extreme storms, wildfires, etc.) had on your decision to move to Maine from your previous location?

5 - Extremely strong influence

9%

4 - Somewhat strong influence

13%

3 - Moderate influence

19%

2 - Minimal influence

21%

1 - No influence at all

39%

Economic and Demographic Implications

What This Means for Maine

Maine's Position:

- Relatively well-positioned compared to national climate outlooks
- Attracting in-migrants, including younger people
- Changing weather patterns affect entire state

Opportunities:

- Demographic renewal and workforce growth (inland/statewide)
- Quality of life as economic asset and competitive advantage

Challenges:

- Housing availability/affordability pressures (median home price increased 37% from 2021 to 2025)
- Infrastructure needs (growth in some areas, decline in others)
- Coastal vulnerability, accelerated aging (median ages in most coastal counties above 45)
- Rural areas may face future pressure from inland migration

Key Takeaways

- Climate migration spectrum (slow to sudden) - challenging to measure
- Many moving to high-risk areas; climate one factor among many
- **Maine's unique position:**
 - Relative climate-resilience, attracting younger in-migrants
 - Opportunity: demographic renewal, workforce growth, quality of life
 - Challenge: intensified housing pressures, infrastructure, coastal vulnerability
- **Value of ongoing research and partnerships** - understanding who's moving and why informs decisions

Contact Information

Laura Yeitz | Laura.yeitz@maine.gov

Maine State Economist Office, Department of Administrative and
Financial Services

www.maine.gov/dafs/economist

Climate Migration Panel Notes

- Panelists
 - Laura Yeitz
 - Office of the State Economist
 - She provided most of the statistics. I cannot find those on the website, but they said they were going to send out their presentations. I can send those once I get them.
 - Jonathan Cullet
 - Redfern Properties
 - He talked about barriers from a construction side. Mostly balancing construction and affordable housing with loans.
 - Gunnar Hubbard
 - Roux Institute
 - He reiterated climate migration stats.
 - Laura Mitchell
 - Maine Affordable Housing Coalition
 - Mostly asked questions to the panel.
 - Panagioti Tsolkas
 - Maine Immigrants' Rights Coalition
 - He talked about climate migration from an acceptance standpoint. He used example from the South to show that Maine is relatively accepting of migrants compared to other places. He emphasized accepting climate migrants is crucial to the economy given Maine's age demographics and its high climate safety.
 - Ryan Wallace
 - Wallace Economic Advisors
 - He also talked about the statistics and mostly answered questions.
- 24% of people who move to Maine said it was strongly due to climate
 - They also said this was hard to measure because of sudden-onset challenges and slow-onset challenges. Sudden-onset would be a forest fire. Slow-onset would be things like increased droughts.
- Issues balancing regulatory standards with high construction cost
 - The main point was balancing costs of construction with the 25% workforce housing requirement in Portland
- Pre-approved plans
 - They talked about pre-approved plans being used to combat high costs, easing enforcement burdens, and supplying housing to working class people who move to Maine
 - One of the panelists talked about pre-approved plans for the entirety of Vermont.

- Someone asked about Bangor's pre-approved plans
 - A lot of people were in favor of these
- A lot of people had questions about creating a welcoming environment to anyone who moves to Maine
 - A lot of people talked about struggles they had with building in smaller communities not really cities.
- Maine was one of the few places that had a lot of in-migration that did not have major climate concerns.
 - A lot of people moved to Texas, but that area does have major climate concerns with water infrastructure.
 - They also used some big Texas cities as what can happen with limited regulatory standards
- Infill development
 - A lot of the people asking questions had issues with this, but used it as a city to city issue.
 - They used Portland as an example.
 - People want to develop there, but because of how expensive it is to build there due to regulatory requirements and labor costs, they are looking at other surrounding areas which then increase housing costs in those areas.
 - I think a lot of people thought infill development should be entire cities.
 - No one did talk about issues with this i.e. utility constraints and public pushback.
- Housing costs
 - They talked about housing costs and an older housing market as constraints for migrants.
- Regulatory burdens
 - Another main point about this was how different towns are.
 - It becomes challenging to navigate the different land use codes.
 - A lot of people had issues with the funding requirements from Maine State Housing.
 - They said the requirement cost a lot of money and most of the developers there want to create housing that can stand by itself
 - This was used as a talking point for ways to house incoming climate migrants.
 - A lot of this was from a code enforcement perspective and generally people thought planning had a transparent process.
- Getclimaterready.com

- Penobscot County has a high climate score, moderate opportunity, and low affordability on the map they have.
 - In general, the eastern side of the US has a high rating besides coastal areas (sea-level rise).
- Current migration patterns that were talked about
 - This was a new statistic that the panelists said came out yesterday, but it was a decrease in immigration from around 2 million in 2024 to around half that now.