

# BANGOR PROTOTYPICAL HOUSING - 4-UNIT TYPE 1



BANGOR, MAINE

## DRAWING INDEX

NO.	DESCRIPTION	DATE	BY	100% CONSTRUCTION DOCS
G101	COVER SHEET			
G102	CODE REVIEW			
G103	ACCESSIBILITY DETAILS - ANSI			
<b>ARCHITECTURAL GENERAL</b>				
A001	ASSEMBLY TYPES & DETAILS			
A101	FLOOR PLANS			
A201	ROOF PLAN			
A202	ROOF DETAILS			
A301	REFLECTED CEILING PLANS			
A401	BUILDING ELEVATIONS			
A501	BUILDING SECTIONS			
A502	BUILDING SECTIONS			
A601	DETAILS			
A701	VERTICAL CIRCULATION			
A801	DOOR & WINDOW SCHEDULE & TYPES			
A802	DOOR & WINDOW DETAILS			
A901	KITCHEN & BATHROOM DRAWINGS			
<b>STRUCTURAL</b>				
S001	GENERAL NOTES			
S101	FOUNDATION PLAN			
S102	SECOND FLOOR AND ROOF FRAMING PLANS			
S201	FOUNDATION SECTIONS AND DETAILS			
S301	FRAMING SECTIONS AND DETAILS			
S401	SHEAR WALL DETAILS			
<b>MECH/PLUMBING</b>				
	DESIGN/ BUILD BY OWNER			
<b>ELECTRICAL</b>				
	DESIGN/ BUILD BY OWNER			



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON**  
ARCHITECTS P.C.

BANGOR PROTOTYPICAL HOUSING  
4-UNIT TYPE 1  
Bangor, Maine

#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	01062405
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	12" = 1'-0"

SHEET TITLE  
COVER SHEET

**G101**

© COPYRIGHT 1985-2025  
REPRODUCTION OR RESALE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.

## ABBREVIATIONS

ALUM	ALUMINUM	FO	FACE OF	PTD	PAINTED
AL	ALIGN	FR	FIRE RATING	PL	PLATE
AWP	ACOUSTICAL WALL PANEL	FRMG	FRAMING	PLAM	PLASTIC LAMINATE
ACT	ACOUSTICAL CEILING TILE	FT	FEET (FOOT)	PLY WD	PLYWOOD
BIT	BITUMINOUS	FV	FIELD VERIFY	PKT	POCKET
BM	BENCH MARK	FWC	FABRIC WALL COVERING	PNL	PANEL
BOT	BOTTOM	G	GROUT	PT	PRESSURE TREATED
BRG	BEARING	GA	GAUGE	PT & D	PAPER TOWEL AND WASTE DISP.
BRK	BRICK	GALV	GALVANIZED	PTN	PARTITION
C	CARPET	GB	GRAB BARS	PTRY	PANTRY
CAB	CABINET	GC	GENERAL CONTRACTOR	RD	ROOF DRAIN
CB	CHALK BOARD	GWB	GYPSUM WALL BOARD	RE	REFER
CC	CENTER TO CENTER	HC	HANDICAP	REF	REFRIGERATOR
CH	CONCRETE HARDENER	HD WD	HARDWOOD	REINF	REINFORCED
CIRC	CIRCULATION	HDR	HEADER	REQD	REQUIRED
CJ	CONTROL JOINT	HDWE	HARDWARE	RM	ROOM
CL	CENTER LINE	HH	HEAD HEIGHT	RO	ROUGH OPENING
CLG	CEILING	HM	HOLLOW METAL	RR	RESTROOM
CMU	CONCRETE MASONRY UNITS	HORZ	HORIZONTAL	S	SOUTH
CONC	CONCRETE	HT	HEIGHT	SC	SEALED CONCRETE
CONT	CONTINUOUS	HW	HAND WASHING	SD	SOAP DISPENSER
CONST	CONSTRUCTION	ID	INSIDE DIAMETER	SCHED	SCHEDULE
CONTR	CONTRACTOR	IF	INSIDE FACE	SECT	SECTION
CORR	CORRIDOR	IN	INCHES	SHT	SHEET
CT	CERAMIC TILE	INSUL	INSULATION	SIM	SIMILAR
DBL	DOUBLE	INT	INTERIOR	SND	SANITARY NAPKIN DISPOSAL
DF	DRINKING FOUNTAIN	LOC	LOCATION	SQ	SQUARE
DIA	DIAMETER	M	MARBLE	SSS	SYNTHETIC SPORTS SURFACE
DIM	DIMENSION	MAS	MASONRY	STD	STANDARD
DNA	DIMS NOT APPLY	MAX	MAXIMUM	STL	STEEL
DTL	DETAIL	MB	MARKER BOARD	STOR	STORAGE
DWG	DRAWING	MECH	MECHANICAL	STRUC	STRUCTURAL
E	EAST	MFGR	MANUFACTURER	SV	SHEET VINYL
EA	EACH	MIN	MINIMUM	T	TILE
EF	EACH FACE	MIR	MIRROR	TEMP	TEMPERED (GLASS)
EJ	EXPANSION JOINT	MISC	MISCELLANEOUS	TB	TILE BASE
EL	ELEVATION	MO	MASONRY OPENING	THK	THICKNESS
ELEC	ELECTRICAL	MR	MOP RECEPTOR	TOP	TOP OF
ELEV	ELEVATOR	MIRGB	MOISTURE REST. GYP. BRD.	TOB	TOP OF BEAM
EMHO	ELECTROMAGNETIC HOLD OPEN	MTL	METAL	TOM	TOP OF MASONRY
EP	ELECTRICAL PANEL	N	NORTH	TOW	TOP OF WALL
EQ	EQUAL	NA	NOT APPLICABLE	TP	TOILET PAPER DISPENSER
ETR	EXISTING TO REMAIN	NBHD	NEIGHBORHOOD	TYP	TYPICAL
EW	EACH WAY	NIC	NOT IN CONTACT	UNO	UNLESS NOTED OTHERWISE
EWV	ELECTRIC WATER COOLER	NO	NUMBER	VAP	VAPOR BARRIER
EXT	EXISTING	NOM	NOMINAL	VCT	VINYL COMPOSITION TILE
EXT OR (E)	EXPANSION	NTS	NOT TO SCALE	VERT	VERTICAL
EXP	EXTERIOR	OA	OVERALL	VEST	VESTIBULE
FD	FLOOR DRAIN	OC	ON CENTER	VWC	VINYL WALL COVERING
FIN	FOUNDATION	OD	OUTSIDE DIAMETER	W	WEST
FE	FIRE EXTINGUISHER	OF	OUTSIDE FACE	WF	WITH
FFE	FINISH FLOOR ELEVATION	OFCI	OWNER FURNISHED	WC	WATER CLOSET
FIN	FINISH	OSUP	CONTRACTOR SUPPLIED	WD	WOOD
FIN FL OR FF	FINISH FLOOR	OH	OVERHANG	WDW	WINDOW
FIN GR	FINISH GRADE	OPNG	OPENING	WP	WALL PAPER
FL	FLOOR	OPP	OPOSITE	VIF	VERIFY IN FIELD

## LEGEND

<b>Room name</b> 101	ROOM LABEL
101	DOOR TAG
1	WINDOW TYPE
EW6	WALL TYPE
TYPE HGT.	CEILING LABEL
101	DEMO LABEL
0	COLUMN LINE LABEL
1 Ref	BUILDING ELEVATION
1 Ref	BUILDING SECTION
1 SIM	WALL SECTION
1 SIM	DETAIL SECTION
1 Ref	INTERIOR ELEVATION
NAME ELEVATION	VERTICAL ELEVATION
	CLEAR FLOOR AREA FOR DOOR, APPLIANCES, FIXTURES, ETC.

## GENERAL NOTES

- THE LOCATIONS OF DOORS NOT DIMENSIONED SHALL BE 6 INCHES AS MEASURED FROM THE DOOR LEAF TO THE ADJACENT WALL FINISH ON THE HINGE SIDE.
- THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES AND REGULATIONS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED & ALL CONNECTIONS TO BE STAINLESS STEEL.
- CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD IN BATHROOMS, INTERIOR FACES OF EXTERIOR WALLS, AND ALL OTHER HIGH HUMIDITY AREAS.
- ALL EXPOSED SURFACES ARE TO BE PAINTED, WHETHER OR NOT INDICATED ON THE DRAWINGS, EXCEPT AS FOLLOWS: WHERE SPECIAL COATINGS ARE INDICATED; PREFINISHED ITEMS, CONCEALED SURFACES, OPERATING PARTS, AND LABELS. IF PREFINISHED, PAINTING THE FOLLOWING: EXPOSED MECHANICAL DUCTWORK, WALL DIFFUSERS, GRILLES AND LOUVERS, ROOF TOP MECHANICAL EQUIPMENT, AND SPEAKER GRILLES. FINISHED METAL SURFACES, EXCEPT AS LISTED ABOVE. SEE SPECIFICATIONS ON DRAWINGS IDENTIFYING THE TYPES OF PAINTS AND SPECIALTY COATINGS TO BE USED IN ACCORDANCE WITH MATERIAL BEING PAINTED OR COATED.
- BUILDING INSULATION: PROVIDE AS INDICATED ON WALL DETAILS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND DRAWINGS. FOR DRAWING CLARITY, INSULATION MAY NOT BE SHOWN, EVEN IF IT IS PROVIDED.
- THE DESIGN AND INSTALLATION OF THE HVAC, PLUMBING, ELECTRICAL, AND FIRE PROTECTION SYSTEMS SHALL BE PROVIDED THROUGH A DESIGN/BUILD CONTRACT UNDER THE GENERAL CONTRACTOR/ CONSTRUCTION MANAGER.
- VENT ALL PLUMBING THROUGH ROOF. DO NOT VENT BATHROOMS AND LAUNDRY EQUIPMENT THROUGH EAVES. ALL VENT CAPS TO BE LOW-PROFILE AND PAINTABLE.
- REFER TO IECC 2021 TABLE R402.4.1.1 FOR AIR BARRIER, AIR SEALING, AND INSULATION INSTALLATION REQUIREMENTS.

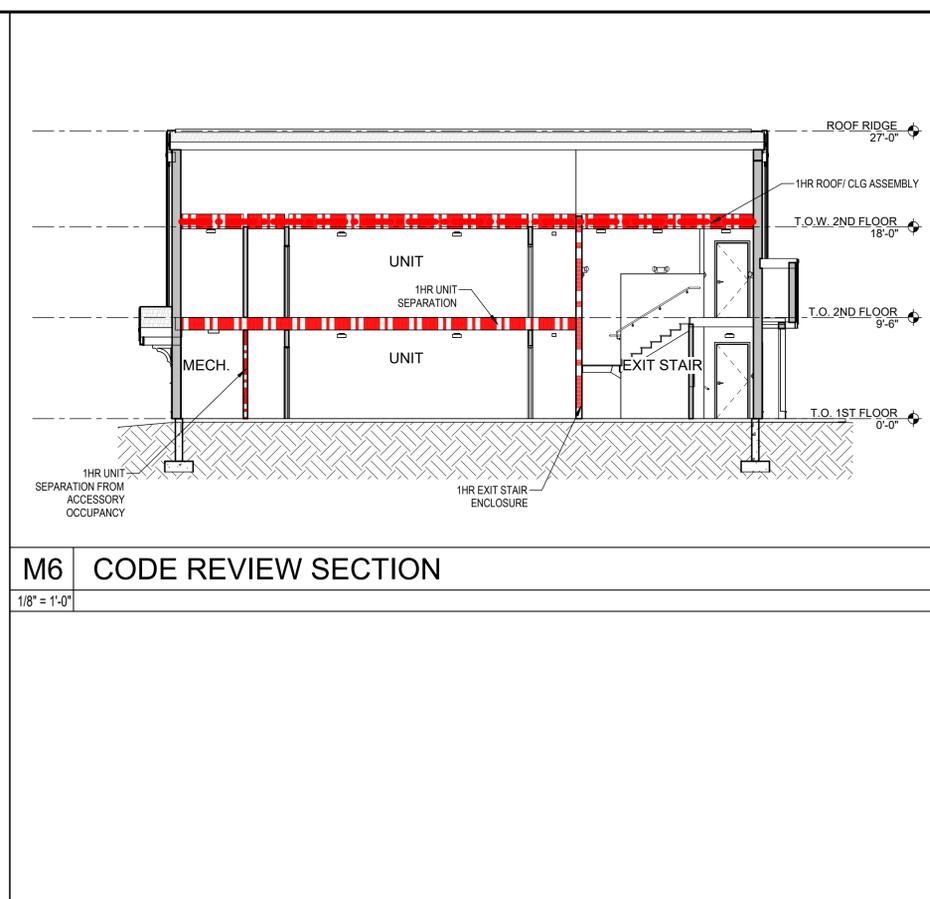
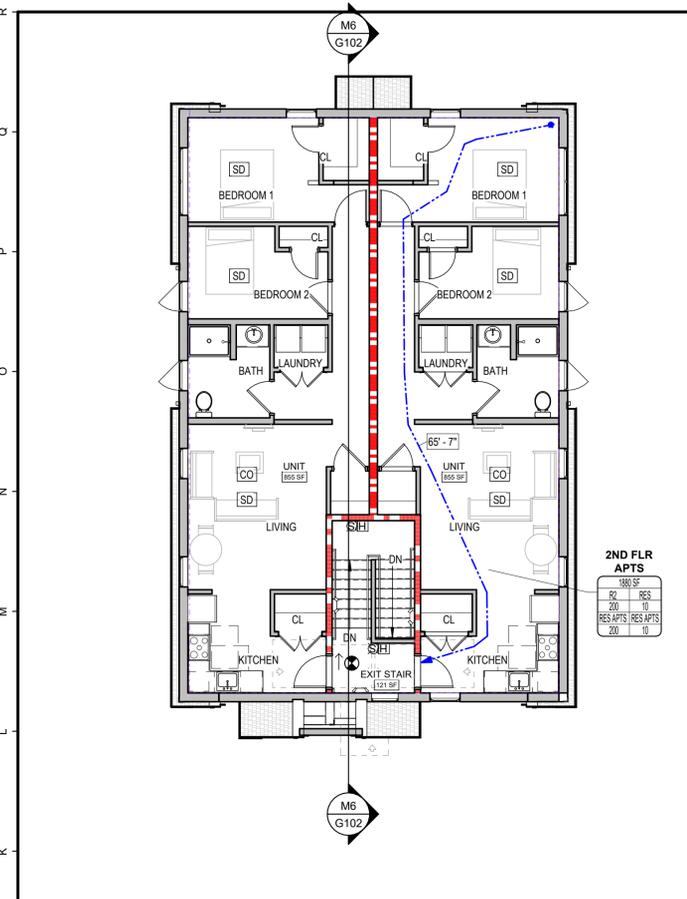
## AIR SEALING NOTES

- MAINTAIN CONTINUITY OF AIR BARRIER ON EXTERIOR WALL (WEATHER RESISTANT BARRIER), CEILING (POLYETHYLENE VAPOR BARRIER), AND CONCRETE SLAB (POLYOLEFIN VAPOR BARRIER) UTILIZING SEALANT, TAPES, AND OTHER METHODS ILLUSTRATED IN DETAILS.
- PROVIDE GASKETS OR SILL SEALS UNDER MUD SILLS ALONG FOUNDATION WALLS.
- IF BATHTUB OR SHOWER ENCLOSURE IS INSTALLED ON EXTERIOR WALLS OR UNIT SEPARATION WALLS, INSULATE AND AIR SEAL THIS AREA BEFORE SHOWER/ TUB IS INSTALLED.
- RECESSED LIGHTS MUST BE AIRSEALED AND AIRTIGHT. (RECESSED LIGHTS MAY NOT PENETRATE THE BUILDING ENVELOPE.) RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF LESS THAN 2.0 CFM (0.944 L/S) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT 1.57 PSF (75 PA) PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
- WINDOW FRAMES AND DOOR JAMBS MUST BE SEALED TO THEIR ROUGH OPENINGS USING BACKER ROD AND SEALANT.
- ALL PENETRATIONS THROUGH THE BUILDING ENVELOPE MUST BE CAREFULLY SEALED. TYPICAL PENETRATIONS INCLUDE CHIMNEY, DUCT & PLUMBING CHASES, AND PENETRATIONS OF PIPES AND WIRES THROUGH THE TOP PLATES OF TOP STORY WALLS. IT IS PARTICULARLY IMPORTANT TO SEAL ALL POSSIBLE AIR PATHS TO THE ATTIC. BUILDING THERMAL ENVELOPE DELINEATED BY ON ALL BUILDING SECTIONS.
- ELECTRICAL BOXES ON EXTERIOR WALLS AND CEILINGS MUST EITHER BE AIR-SEALED OR PLACED IN AIRTIGHT ENCLOSURES (LESSCO BOX OR EQUIVALENT).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SUITABILITY OF ALL SUBGRADE SOILS PRIOR TO FOUNDATION CONSTRUCTION. ANY SOFT, LOOSE, ORGANIC, EXPANSIVE, OR OTHERWISE UNSUITABLE MATERIALS ENCOUNTERED AT OR BELOW FOUNDATION BEARING LEVELS MUST BE ADDRESSED IN A CONSULTATION WITH A GEOTECHNICAL ENGINEER. NO FOUNDATION WORK SHALL PROCEED IN AREAS WHERE UNSUITABLE SOILS ARE PRESENT UNTIL SUCH MATERIALS HAVE BEEN PROPERLY REMOVED AND REPLACED, OR OTHERWISE STABILIZED, IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY A GEOTECHNICAL ENGINEER.

## PROJECT DIRECTORY

<b>ARCHITECT:</b> GAWRON TURGEON DILLON ARCHITECTS, P.C. 29 BLACK POINT ROAD SCARBOROUGH, MAINE 04074 207-883-6307	<b>STRUCTURAL ENGINEER:</b> M2 STRUCTURAL ENGINEERING, INC. 23 THORNBURY WAY, WINDHAM, ME 04062 207-892-0983
<b>MECHANICAL ENGINEER:</b> DESIGN/ BUILD BY CONSTRUCTION MANAGER	<b>ELECTRICAL ENGINEER:</b> DESIGN/ BUILD BY CONSTRUCTION MANAGER

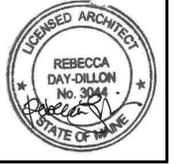
12/28/2025 10:04:12 AM GAWRON



**M6 CODE REVIEW SECTION**  
1/8" = 1'-0"

- FAIR HOUSING ACT (FHAG) REQUIREMENTS:**
- ALL HOUSING PROJECTS WITH 4 OR MORE UNITS UNDER THE SAME ROOF NEED TO MEET FHAG:
  - HTTPS://WWW.HUDUSER.GOV/PORTAL/PUBLICATIONS/PDF/FAIRHOUSING/FAIRFULL.PDF
  - COVERED UNITS ARE ALL THOSE ON GROUND FLOOR IF THERE IS NO ELEVATOR. IF THERE IS AN ELEVATOR, ALL DWELLING UNITS ARE COVERED.
  - AT LEAST 1 BUILDING ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE
  - PUBLIC AND COMMON USE AREAS SHALL BE ACCESSIBLE AND USABLE (INCLUDING COMMON HALLWAYS, LOUNGES, LOBBIES, LAUNDRY ROOMS, REFUSE ROOMS, MAIL ROOMS, RECREATIONAL AREAS, STORAGE ROOMS, TOILET ROOMS, AND PASSAGEWAYS BETWEEN BUILDINGS)
  - ALL DOORS DESIGNED TO ALLOW PASSAGE INTO AND WITHIN ALL PREMISES MUST BE USABLE BY PEOPLE IN WHEELCHAIRS (MIN. 32" CLEAR OPENING)
  - ACCESSIBLE DOORS - DOORS IN ACCESSIBLE ROUTE IN PUBLIC COMMON SPACES AND PRIMARY ENTRY DOORS TO DWELLING UNITS - EXTERIOR SIDE ONLY - MUST MEET ANSI 4.13 REQUIREMENTS FOR CLEAR WIDTH, MANEUVERING CLEARANCES, THRESHOLDS, HARDWARE, AND OPENING FORCE.
  - USABLE DOORS - WITHIN DWELLING UNIT AND SECONDARY EXTERIOR DOORS, INTENDED FOR USER PASSAGE - MIN 32" CLEAR WIDTH, LOW THRESHOLD
  - THERE MUST BE AN ACCESSIBLE ROUTE INTO AND THROUGH THE DWELLING UNITS
  - ALL PREMISES WITHIN THE DWELLING UNITS MUST CONTAIN LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER OPERABLE ENVIRONMENTAL CONTROLS IN ACCESSIBLE LOCATIONS.
  - ALL PREMISES WITHIN DWELLING UNITS MUST CONTAIN REINFORCEMENTS IN BATHROOM WALLS TO ALLOW LATER INSTALLATION OF GRAB BARS AROUND TOILET, TUB, SHOWER STALL, AND SHOWER SEAT, WHERE SUCH FACILITIES ARE PROVIDED.
  - PROVIDE REINFORCING MIN 24" LONG BEHIND & BESIDE TOILETS - HEIGHT FROM 30" MAX A.F.F. TO 38" MIN. A.F.F.
  - PREFERRED REINFORCING BEHIND TOILET - LENGTH OF 28", HEIGHT FROM 30" MAX A.F.F. TO 38" MIN A.F.F.
  - PREFERRED TOILET SIDE WALL REINFORCING - LENGTH OF 42" MAX 12" FROM BACK WALL, HEIGHT FROM 30" MAX A.F.F. TO 38" MIN A.F.F.
  - WHERE TOILETS DON'T HAVE FULL SIDE WALLS, REINFORCING BEHIND TOILET MUST BE ENLARGED TO SUPPORT A FOLDING GRAB BAR PER MANUFACTURER'S INSTRUCTIONS.
  - PROVIDE REINFORCING FOR GRAB BARS IN SHOWERS ON BACK & SIDE WALLS - HEIGHT FROM 32" MAX A.F.F. (30" MAX. PREFERRED) TO 38" MIN A.F.F.
  - PROVIDE REINFORCING FOR WALL-HUNG SHOWER SEAT IN 36" X 36" SHOWERS, LOCATED ON WALL OPPOSITE CONTROLS AND RUNNING FULL WIDTH OF STALL - HEIGHT FROM FLOOR TO MIN. 24" A.F.F.
  - DWELLING UNITS MUST CONTAIN USABLE KITCHENS AND BATHROOMS SUCH THAT AN INDIVIDUAL WHO USES A WHEELCHAIR CAN MANEUVER ABOUT THE SPACE.
  - KITCHENS:
    - ADEQUATE SPACE WITHIN KITCHEN TO PROVIDE 30" X 48" CLEAR FLOOR SPACE AT OVEN, DISHWASHER, REFRIGERATOR, FREEZER, TRASH COMPACTOR, SINK, OVEN, AND MICROWAVE - POSITIONED EITHER PARALLEL OR PERPENDICULAR TO AND CENTERED ON THE APPLIANCE OR FIXTURE
    - MIN. 40" CLEAR BETWEEN ALL OPPOSING BASE CABINETS, COUNTERTOPS, APPLIANCES, AND WALLS
    - WHERE KNEE SPACES ARE PROVIDED BELOW SINKS AND COOKTOPS, PROVIDE PIPE INSULATION OR ENCLOSURE. KNEE SPACE SHALL BE MIN. 30" WIDE BY 27" HIGH. WALL AND FLOOR SURFACES AT KNEE SPACES MUST BE FINISHED.
  - BATHROOMS:
    - 30" X 48" MIN. CLEAR FLOOR SPACE OUTSIDE SWING OF DOOR REQUIRED
    - CLEAR FLOOR SPACE REQUIRED AT EACH FIXTURE. CLEAR SPACES PERMITTED TO OVERLAP EACH OTHER. DOORS MAY SWING INTO CLEAR FLOOR SPACE AT FIXTURES, PROVIDED THERE IS A 30" X 48" MIN. CLEAR SPACE OUTSIDE THE SWING OF THE DOOR
    - CLEAR FLOOR SPACE AT TOILET: 48" X 66" 48" X 56", OR 60" X 56". LAVATORY OR VANITY PERMITTED TO OVERLAP CLEAR FLOOR SPACE AT TOILET AS LONG AS THERE IS MIN. 15" CLEAR FROM THE CENTERLINE OF THE TOILET TO THE EDGE OF THE LAVATORY/VANITY
    - CLEAR FLOOR SPACE AT SINK: 30" X 48", PARALLEL TO AND CENTERED ON BASIN. BASE CABINETS BELOW SINKS MUST BE REMOVABLE WHERE THERE IS INSUFFICIENT SPACE FOR PARALLEL APPROACH CENTERED ON BASIN. WALLS AND FLOOR IN KNEE SPACE MUST BE FINISHED, AND PLUMBING BELOW LAVATORY SHOULD BE COVERED FOR PROTECTION.
    - CLEAR FLOOR SPACE AT SHOWER: 30" X 48", FLUSH AND PARALLEL WITH CONTROL WALL. SHOWERS ARE NOT PERMITTED TO BE INSTALLED ADJACENT TO TOILETS.

- CODE REVIEW ABBREVIATIONS:**
- |               |                               |         |                               |
|---------------|-------------------------------|---------|-------------------------------|
| A             | ASSEMBLY GROUP                | IND.    | INDUSTRIAL                    |
| ACC.          | ACCESSORY                     | INP.    | INPATIENT                     |
| A.H.C.        | AMBULATORY HEALTH CARE        | M       | MERCANTILE GROUP              |
| A.H.J.        | AUTHORITY HAVING JURISDICTION | OCC.    | OCCUPANTS                     |
| B             | BUSINESS GROUP                | O.L.F.  | OCCUPANT LOAD FACTOR          |
| C.K.          | COMMERCIAL KITCHEN            | O.P.    | OUTPATIENT                    |
| COLLAB. COMM. | COMMERCIAL COLLABORATION      | R       | RESIDENTIAL GROUP             |
| D.C.          | DAYCARE                       | RB&C    | RESIDENTIAL BOARD & CARE ROOM |
| E             | EDUCATIONAL GROUP             | RM      | ROOM                          |
| F             | FACTORY GROUP                 | S       | STORAGE GROUP                 |
| H             | HIGH HAZARD GROUP             | SMK CMP | SMOKE COMPARTMENT             |
| H.C.          | HEALTHCARE                    | U       | UTILITY & MISC. GROUP         |
| I             | INSTITUTIONAL GROUP           | UNC.    | UNCONCENTRATED                |
| INC.          | INCIDENTAL                    | W.C.    | WATER CLOSET (TOILET)         |
- CODE REVIEW GENERAL NOTES:**
- ALL PENETRATIONS OF SMOKE BARRIERS, PARTITIONS, FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH PROPER APPROVED MATERIALS
  - ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES, ORDINANCES, AND REQUIREMENTS, ACCESSIBILITY PER A.D.A. AND ANSII 117.1
  - REFER TO SHEET G103 FOR ACCESSIBILITY DETAILS
  - CODE ANALYSIS FOR REFERENCE ONLY. SEE ALL OTHER PLAN SHEETS FOR CONTRACT DOCUMENT INFORMATION
  - THIS CODE ANALYSIS IDENTIFIES SOME SPECIFIC BUILDING CODE REQUIREMENTS BUT IS NOT INTENDED TO LIST ALL BUILDING CODE REQUIREMENTS
  - SEE PLANS AND OTHER DETAIL SHEETS FOR ACCESSIBILITY CONFORMANCE.
  - MAINTAIN FIRE RATINGS OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.
  - PROVIDE ACOUSTICAL SEALANT AT FLOOR/CEILING WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.
  - CONTRACTOR TO FIELD VERIFY FIRE EXTINGUISHER LOCATIONS AND COORDINATE WITH FIRE MARSHAL, ARCHITECT TO REVIEW AND APPROVE NEW FE LOCATIONS AS REQUIRED.

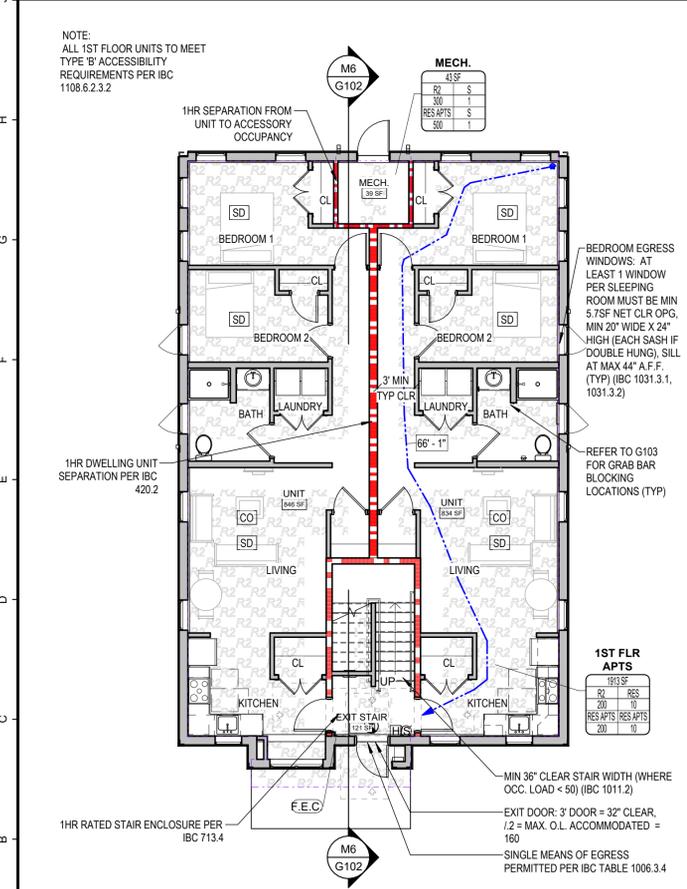


OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON  
ARCHITECTS P.C.**

**BANGOR PROTOTYPICAL HOUSING**  
4-UNIT TYPE 1  
Bangor, Maine

**J1 2ND FLOOR CODE REVIEW PLAN**  
1/8" = 1'-0"



**CODE REVIEW - LIFE SAFETY OCCUPANT LOAD SCHEDULE**

Name	Area	IBC Occupancy Type	IBC Use	IBC Occ Factor	IBC OL	NFPA Occupancy Type	NFPA Use	NFPA Occ Load Factor	NFPA OL
1ST FLR APTS	1913 SF	R2	RES	200	10	RES APTS	RES APTS	200	10
MECH.	43 SF	R2	S	300	1	RES APTS	S	500	1
T.O. 1ST FLOOR	1957 SF				11				11
2ND FLR APTS	1880 SF	R2	RES	200	10	RES APTS	RES APTS	200	10
T.O. 2ND FLOOR	1880 SF				10				10
Total	3837 SF				21				21

**CODE REVIEW - MAINE UNIFORM BUILDING CODE - IBC 2021 - RESIDENTIAL APARTMENTS**

Code Description IBC	Code Data IBC - RA
USE GROUP CLASSIFICATION(S)	(CHAPTER 3) RESIDENTIAL APARTMENTS (R-2)
OCCUPANT LOAD FACTOR(S)	(TABLE 1004.5) RESIDENTIAL AREAS - 200 GROSS, ACCESSORY STORAGE AREAS/ MECH EQUIPMENT ROOMS - 300 GROSS
CALCULATED OCCUPANT LOAD	21
TYPE OF CONSTRUCTION	(TABLE 601.1) TYPE VB
PROPOSED BUILDING AREA	3,837 SF
ALLOWABLE AREA FACTOR	(TABLE 506.2) 7,000 SF (R-2, S13R, V-B)
CALCULATED MAXIMUM ALLOWABLE BUILDING AREA	(506.2) CALCULATION NOT DONE (PROPOSED AREA < ALLOWABLE AREA)
PROPOSED BUILDING HEIGHT ABOVE GRADE	26', 2 STORIES
ALLOWABLE BUILDING HEIGHT ABOVE GRADE	(TABLE 504.3, TABLE 504.4) 60', 3 STORIES (R-2, S, V-B)
FIRE EXTINGUISHERS	LOCATIONS TO BE VERIFIED BY LOCAL AHJ PRIOR TO INSTALLATION - MAX 75' TRAVEL DISTANCE FROM ANYWHERE IN BUILDING TO FE AT CLASS A HAZARD
FIRE SUPPRESSION:	(420.4) TOTAL BUILDING AUTOMATIC SPRINKLER SYSTEM REQUIRED - NFPA 13R PER NFPA 101 30.3.5.2 (< 4 STORIES, < 60')
FIRE ALARM & DETECTION SYSTEM	(420.5) REQUIRED
EXIT WIDTH FACTORS	(1005.3.1, 1005.3.2) STAIRS: OCC. LOAD X 2', OTHER EGRESS COMPONENTS (DOORS): OCCUPANT LOAD X 2'
SPACES REQUIRING 2 EXITS	(TABLE 1006.2.1) R-2 OCC. LOAD > 20, STORAGE OCC. LOAD > 29
MAXIMUM COMMON PATH OF TRAVEL TO EXIT	(TABLE 1006.2.1) 125' (R-2 w/ SPRINKLER SYSTEM)
MINIMUM NUMBER OF EXITS PER FLOOR	SINGLE EXIT PERMITTED BY 1006.3.4 WHERE BUILDING < 4 STORIES, MAX 4 DWELLING UNITS & MAX 125' EXIT ACCESS TRAVEL DISTANCE
MAXIMUM TRAVEL DISTANCE TO EXIT	(TABLE 1017.2) 250' (R-2 W/ SPRINKLER SYSTEM)
MINIMUM CORRIDOR WIDTH	(TABLE 1020.3) 36" (WHERE OCC. LOAD < 50)
MAXIMUM DEAD END CORRIDOR LENGTH	(1020.4) 50' (R-2 W/ SPRINKLER SYSTEM)
RATING REQUIREMENTS:	
OCCUPANCY SEPARATION	(TABLE 508.4) N/A
UNIT SEPARATION	(420.2) FIRE PARTITION PER 708 - 30 MIN RATING (W/ SPRINKLER SYSTEM)
PRIMARY STRUCTURAL FRAME	(TABLE 601) 0 HOUR RATING
BEARING WALLS EXTERIOR	(TABLE 601) 0 HOUR RATING
BEARING WALLS INTERIOR	(TABLE 601) 0 HOUR RATING
NON BEARING WALLS AND PARTITIONS - EXTERIOR	(TABLE 602) 0 HOUR RATING
NON BEARING WALLS AND PARTITIONS - INTERIOR	(TABLE 601) 0 HOUR RATING
FLOOR CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS	(TABLE 601) 0 HOUR RATING
ROOF/CEILING CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS	(TABLE 601) 0 HOUR RATING
MECHANICAL ROOMS	(TABLE 509) NON-RATED (W/ AUTOMATIC SPRINKLER SYSTEM)
LAUNDRY ROOMS > 100 SF	(TABLE 509) NON-RATED (W/ AUTOMATIC SPRINKLER SYSTEM) (N/A)
WASTE AND LINEN COLLECTION ROOMS > 100 SF	(TABLE 509) NON-RATED (W/ AUTOMATIC SPRINKLER SYSTEM) (N/A)
SHAFTS	(713.4) 1 HOUR (WHERE CONNECTING LESS THAN 4 STORIES)
EXIT STAIR ENCLOSURES	(1019.3) 1 HOUR RATING
EXIT ACCESS CORRIDORS	(TABLE 1020.2) R: 30 MIN RATING (W/ SPRINKLER SYSTEM)
FLAME SPREAD RATINGS:	
INTERIOR WALL AND CEILING FINISH REQUIREMENTS:	
INTERIOR EXIT STAIRWAYS & RAMPS & EXIT PASSAGEWAYS	(TABLE 803.11) R-2 W/ SPRINKLER SYSTEM: CLASS C
CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS	(TABLE 803.11) R-2 W/ SPRINKLER SYSTEM: CLASS C
ROOMS & ENCLOSED SPACES	(TABLE 803.11) R-2 W/ SPRINKLER SYSTEM: CLASS C
INTERIOR FLOOR FINISH REQUIREMENTS:	(804.4.2) R-2: DOC FF-1 PILL TEST (W/ SPRINKLER SYSTEM)

**CODE REVIEW - 2018 NFPA 101 - RESIDENTIAL APARTMENTS**

CODE DESCRIPTION NFPA	CODE DATA NFPA
USE GROUP CLASSIFICATION(S)	NEW APARTMENT BUILDING - CHAPTER 30
OCCUPANT LOAD FACTOR(S)	(TABLE 7.3.1.2) APARTMENT BUILDINGS - 200, STORAGE - 500
CALCULATED OCCUPANT LOAD	21
TYPE OF CONSTRUCTION	TYPE V (000)
PROPOSED BUILDING AREA	3,837 SF
PROPOSED BUILDING HEIGHT	26', 2 STORIES
FIRE SUPPRESSION:	(30.3.5.1) APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM - NFPA 13R PER NFPA 101 30.3.5.2 (< 4 STORIES, < 60')
FIRE ALARM DETECTION	NOTE: FIRE ALARM SYSTEM, SMOKE DETECTION, CO2 AND SMOKE ALARMS TO MEET MIBC 420.6 AND NFPA 101 32.3.3.4
FIRE EXTINGUISHERS	(30.3.4.1.1) APARTMENTS - FIRE ALARM SYSTEM REQUIRED (FOR > 11 UNITS)
FIRE EXTINGUISHERS	LOCATIONS TO BE VERIFIED BY LOCAL AHJ PRIOR TO INSTALLATION - MAX 75' TRAVEL DISTANCE FROM ANYWHERE IN BUILDING TO FE. TYPE K IN COMMERCIAL KITCHEN - 30' MAX TRAVEL DISTANCE TO FE
MAXIMUM COMMON PATH OF TRAVEL	(30.2.4.3) APARTMENTS - 50' (W/ SPRINKLER SYSTEM)
MINIMUM EGRESS CORRIDOR WIDTH	(30.2.4.4) APARTMENTS - 36" (FOR OCC. LOAD < 50)
MAXIMUM DEAD END CORRIDOR LENGTH	(30.2.5.4.2) APARTMENTS - 50' (W/ SPRINKLER SYSTEM)
MAXIMUM TRAVEL DISTANCE TO EXIT	(30.2.6.2, 30.2.6.3.2) 125' FROM WITHIN DWELLING TO CORRIDOR DOOR (SPRINKLERED), 200' FROM DWELLING ENTRANCE DOOR TO EXIT (W/ SPRINKLER SYSTEM)
MINIMUM NUMBER OF EXITS PER FLOOR	(30.2.4.6) SINGLE EXIT PERMITTED IN BUILDINGS <= 4 STORIES, PROVIDED: <= 4 UNITS PER STORY, SPRINKLER SYSTEM, TRAVEL DIST FROM UNIT ENTRANCE DOOR TO EXIT DOOR <= 35', EXIT STAIRWAY 1HR RATED, EXIT ACCESS CORRIDORS 1HR RATED, MIN 1/2 HR HORZ & VERT SEPARATION BETWEEN UNITS
RATING REQUIREMENTS:	
OCCUPANCY SEPARATION	(TABLE 6.1.14.4.1) N/A
EXIT ENCLOSURES	(30.2.2.1.2) 1 HOUR WALLS W/ 1 HOUR DOORS (W/ SPRINKLER SYSTEM)
CORRIDOR WALLS	(30.3.6.1.2) 1/2 HOUR WALLS W/ 20 MIN DOORS (W/ SPRINKLER SYSTEM)
UNIT SEPARATION	(30.3.7.2) 1/2 HOUR WALLS (W/ SPRINKLER SYSTEM)
STAIR ENCLOSURES	(8.6.5) 1 HOUR (NEW CONSTRUCTION, < 4 STORIES)
SHAFTS	(8.6.5) 1 HOUR (NEW CONSTRUCTION, < 4 STORIES)
EXTERIOR BEARING WALLS	(TABLE A.8.2.1.2) 0 HOUR RATING
INTERIOR BEARING WALLS	(TABLE A.8.2.1.2) 0 HOUR RATING
STRUCTURAL MEMBERS	(TABLE A.8.2.1.2) 0 HOUR RATING
FLOOR/CEILING ASSEMBLY	(TABLE A.8.2.1.2) 0 HOUR RATING
ROOF/CEILING CONSTRUCTION	(TABLE A.8.2.1.2) 0 HOUR RATING
INTERIOR NONBEARING WALLS	(TABLE A.8.2.1.2) 0 HOUR RATING
EXTERIOR NONBEARING WALLS	(TABLE A.8.2.1.2) 0 HOUR RATING
BOILER AND FUEL-FIRED HEATER ROOMS	(TABLE 30.3.2.1.1) 1 HOUR RATING (W/ SPRINKLER SYSTEM)
LAUNDRIES < 100SF, OUTSIDE OF DWELLING UNITS	(TABLE 30.3.2.1.1) 0 HOUR RATING (W/ SPRINKLER SYSTEM) (N/A)
BULK LAUNDRIES > 100 SF, OUTSIDE OF DWELLING UNITS	(TABLE 30.3.2.1.1) 1 HOUR RATING (W/ SPRINKLER SYSTEM) (N/A)
MAINTENANCE SHOPS	(TABLE 30.3.2.1.1) 1 HOUR RATING (W/ SPRINKLER SYSTEM) (N/A)
STORAGE ROOMS OUTSIDE DWELLING UNITS	(TABLE 30.3.2.1.1) 0 HOUR RATING (W/ SPRINKLER SYSTEM) (N/A)
TRASH COLLECTION ROOMS	(TABLE 30.3.2.1.1) 1 HOUR RATING (W/ SPRINKLER SYSTEM) (N/A)
FLAME SPREAD RATINGS:	
INTERIOR WALL AND CEILING FINISH REQUIREMENTS:	
EXIT ENCLOSURES	(30.3.2.1.1) CLASS A
-LOBBIES AND CORRIDORS	(30.3.2.1.1) CLASS A OR CLASS B
-OTHER SPACES	(30.3.2.1.1) CLASS A, CLASS B, OR CLASS C
INTERIOR FLOOR FINISH REQUIREMENTS:	(30.3.3.3.2) EXIT ENCLOSURES & EXIT ACCESS CORRIDORS - CLASS II

**CODE REVIEW PLAN LEGEND**

IBC OCC. TYPE (CH. 3)	NAME	AREA NAME
IBC OCC. LOAD FACTOR (TABLE 1004.1.2)	IBC OCC. TYPE (CH. 3)	AREA SQUARE FOOTAGE
NFPA OCC. TYPE (CH. 6)	IBC OCC. LOAD FACTOR (TABLE 1004.1.2)	IBC FUNCTION OF AREA (TABLE 1004.1.2)
NFPA OCC. LOAD FACTOR (TABLE 731.2)	NFPA OCC. TYPE (CH. 6)	IBC OCC. LOAD
	NFPA OCC. LOAD FACTOR (TABLE 731.2)	NFPA FUNCTION OF AREA (TABLE 731.2)
		NFPA OCC. LOAD

**IECC 2021 - PRESCRIPTIVE COMPLIANCE PATH, CLIMATE ZONE 6**

(TABLE C402.1.3):  
WALLS, ABOVE GRADE: WOOD FRAMED AND OTHER: R-13 + R-7.5 CI  
SLAB-ON-GRADE FLOORS: UNHEATED SLABS: R-20 FOR 24" BELOW

(TABLE C402.1.4):  
RATING REQUIREMENTS:  
OCCUPANCY SEPARATION: (420.2) FIRE PARTITION PER 708 - 30 MIN RATING (W/ SPRINKLER SYSTEM)  
UNIT SEPARATION: (TABLE 601) 0 HOUR RATING  
PRIMARY STRUCTURAL FRAME: (TABLE 601) 0 HOUR RATING  
BEARING WALLS EXTERIOR: (TABLE 601) 0 HOUR RATING  
BEARING WALLS INTERIOR: (TABLE 601) 0 HOUR RATING  
NON BEARING WALLS AND PARTITIONS - EXTERIOR: (TABLE 602) 0 HOUR RATING  
NON BEARING WALLS AND PARTITIONS - INTERIOR: (TABLE 601) 0 HOUR RATING  
FLOOR CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS: (TABLE 601) 0 HOUR RATING  
ROOF/CEILING CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS: (TABLE 601) 0 HOUR RATING

(TABLE 509) NON-RATED (W/ AUTOMATIC SPRINKLER SYSTEM)  
(TABLE 509) NON-RATED (W/ AUTOMATIC SPRINKLER SYSTEM) (N/A)  
(TABLE 509) NON-RATED (W/ AUTOMATIC SPRINKLER SYSTEM) (N/A)  
(713.4) 1 HOUR (WHERE CONNECTING LESS THAN 4 STORIES)  
(1019.3) 1 HOUR RATING  
(TABLE 1020.2) R: 30 MIN RATING (W/ SPRINKLER SYSTEM)

SHGC:  
PF < 2: 38 FIXED, 34 OPERABLE  
24<=PF < 5: 46 FIXED, 41 OPERABLE  
PF >= 5: 61 FIXED, 54 OPERABLE

NON-RATED WALL: [Symbol]  
1 HOUR RATED FIRE PARTITION: [Symbol]

TRAVEL DISTANCE TO EXIT: [Symbol]

(F.E.) FIRE EXTINGUISHER - NO CABINET  
(F.E.C.) SEMI-RECESSED FIRE EXTINGUISHER - IN CABINET. FIRE RATED CABINET REQUIRED IN RATED WALLS.

NOTE: COORDINATE FIRE EXTINGUISHER LOCATIONS WITH LOCAL AHJ PRIOR TO INSTALLATION.

EXIT SIGN: [Symbol]  
HORN/ STROBE: [Symbol]  
STROBE: [Symbol]  
PULL STATION: [Symbol]  
EMERGENCY BATTERY WALL LIGHT UNIT: [Symbol]  
CARBON MONOXIDE DETECTOR: [Symbol]  
SMOKE DETECTOR: [Symbol]

**A1 1ST FLOOR CODE REVIEW PLAN**  
1/8" = 1'-0"

**REVISIONS**

#	DATE	DESCRIPTION

DATE: 12-05-2025  
PROJECT #: 010624.05  
DRAWN BY: DEC, BW  
CHECKED BY: DEC  
DRAWING SCALE: As indicated

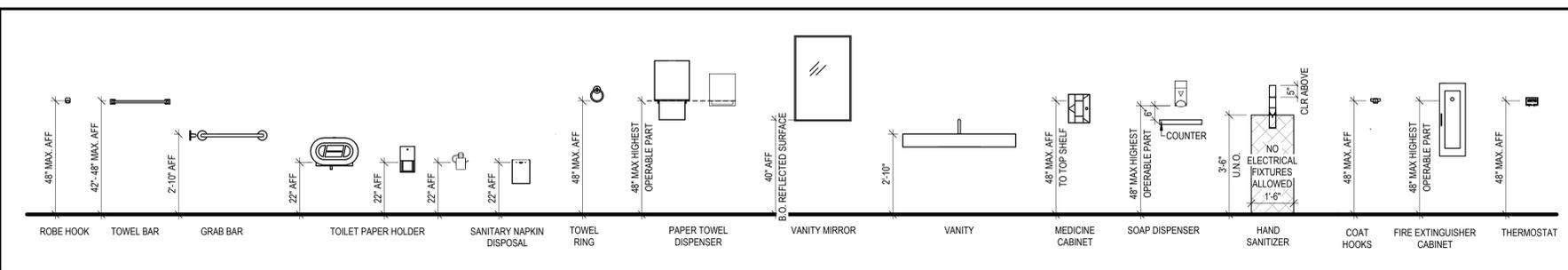
**SHEET TITLE**  
CODE REVIEW

**G102**

© COPYRIGHT 1985-2025  
REPRODUCTION OR RESALE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.

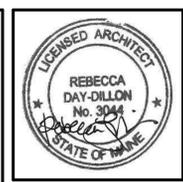
12/8/2025 10:04:21 AM:RC,BV

R  
Q  
P  
O  
N  
M  
L  
K  
J  
I  
H  
G  
F  
E  
D  
C  
B  
A



**O1 ACCESSIBLE MOUNTING AND CLEARANCE REQUIREMENTS**

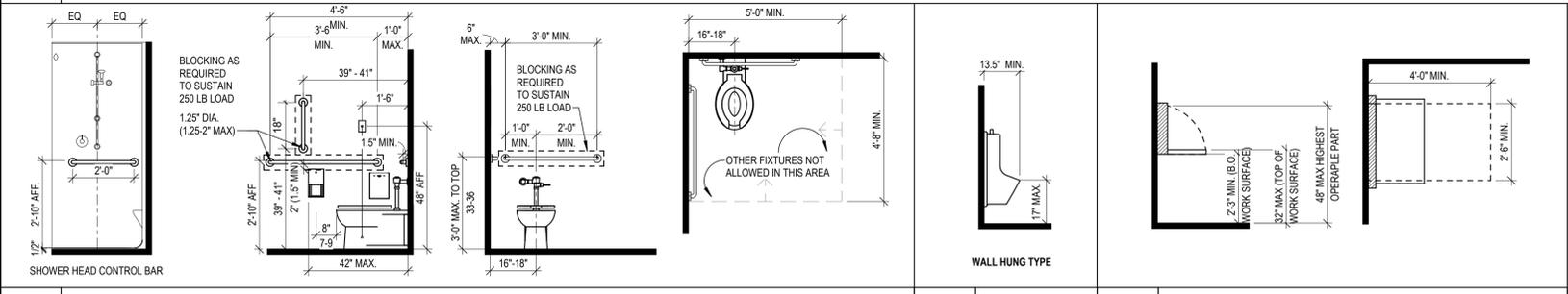
**NOTE:**  
 1. VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICTION. DIAGRAMS ARE INTENDED AS A REFERENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTATION FOR ADDITIONAL REQUIREMENTS. CROSS CHECK WITH ALL INTERIOR ELEVATIONS FOR DEVIATIONS TO TYPICAL LOCATIONS.  
 2. INSTALL BLOCKING AS REQUIRED FOR ALL GRAB BARS AND TOILET ACCESSORIES.  
 3. ICC A117.1-2017: ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES:  
 A1 - SECTION 404: MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS  
 A8 - SECTION 308: REACH RANGE APPROACH  
 A13 - SECTION 307: PROTRUDING OBJECTS  
 A16 - SECTION 607: BATHTUBS  
 D13 - SECTION 305: ALCOVES  
 D16 - SECTION 608: SHOWER - TRANSFER TYPE SHOWER  
 E1 - SECTION 306: KNEE AND TOE CLEARANCE  
 H1 - SECTION 606: LAVATORIES AND SINKS  
 H5 - SECTION 602: DRINKING FOUNTAINS  
 H10 - SECTION 308: REACH RANGE APPROACH AND SECTION 306: KNEE AND TOE CLEARANCE  
 G13 - SECTION 608: SHOWER - ALTERNATIVE ROLL-IN TYPE SHOWER  
 L1 - SECTION 603, 604, 609: WATER CLOSET / GRAB BARS / ACCESSORIES  
 L8 - SECTION 605: URINALS  
 L10 - DIAPER CHANGING STATION  
 L14 - SECTION 608: SHOWER - STANDARD ROLL-IN TYPE SHOWER  
 O1 - ADA ACCESSIBLE MOUNTING HEIGHTS  
 O14 - GENERAL NOTES



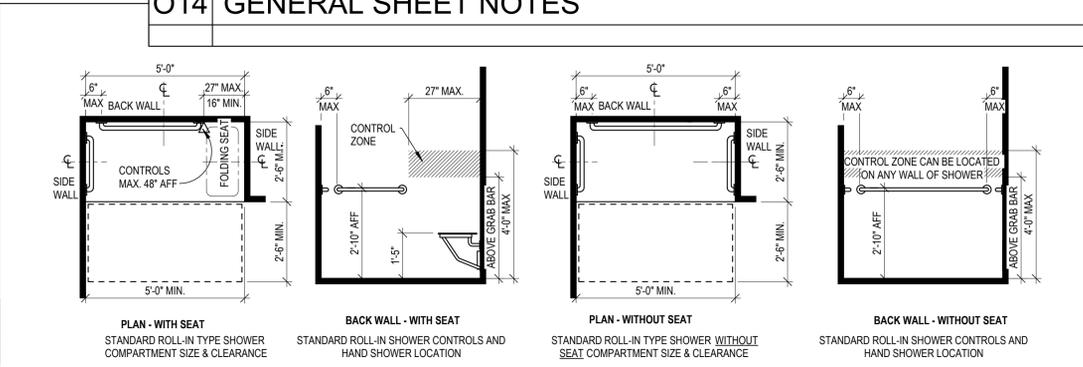
OFFICE: 29 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074  
 MAIL: PO BOX #776  
 SCARBOROUGH, MAINE 04070  
 PHONE: 207-883-6307  
 WWW.GTDARCHITECTS.COM

**GAWRON  
 TURGEON  
 DILLON**  
 ARCHITECTS P.C.

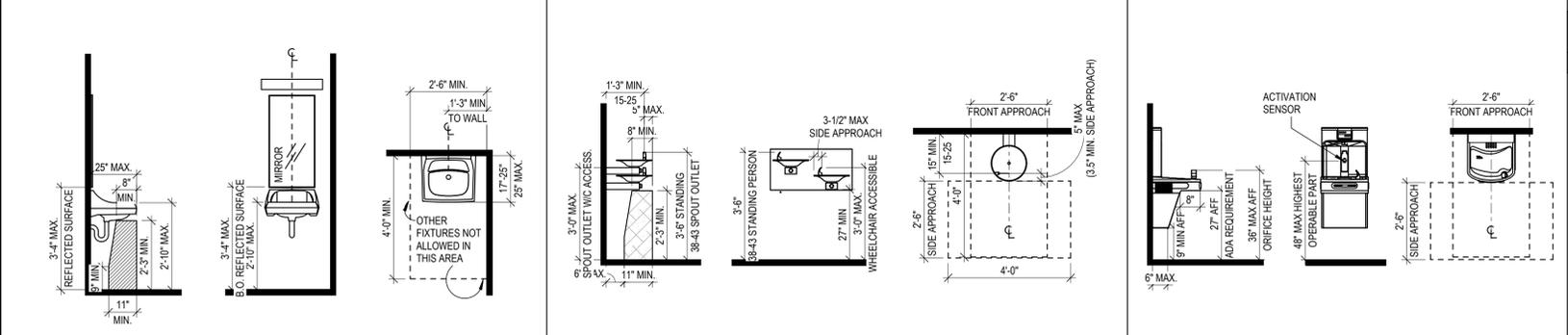
**O14 GENERAL SHEET NOTES**



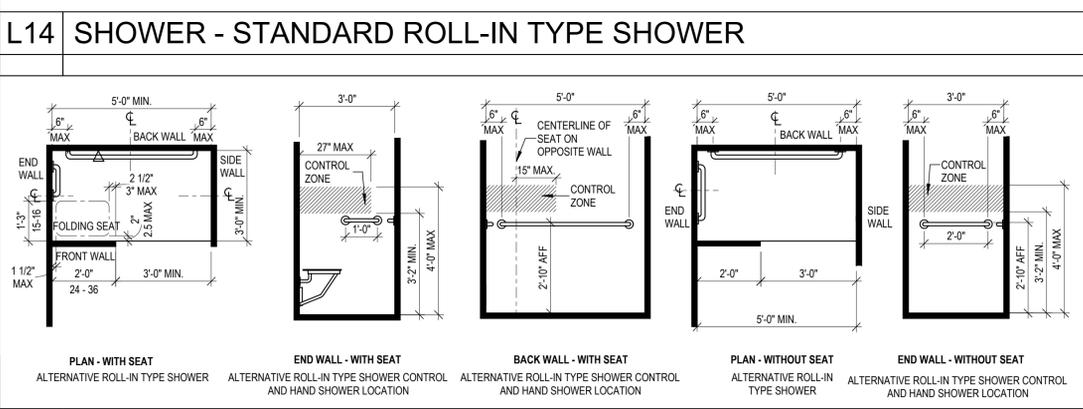
**L1 WATER CLOSET / GRAB BARS / ACCESSORIES      L8 URINAL      L9 DIAPER CHANGING STATION**



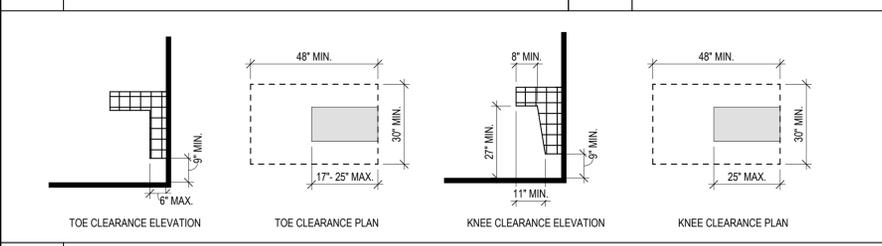
**L14 SHOWER - STANDARD ROLL-IN TYPE SHOWER**



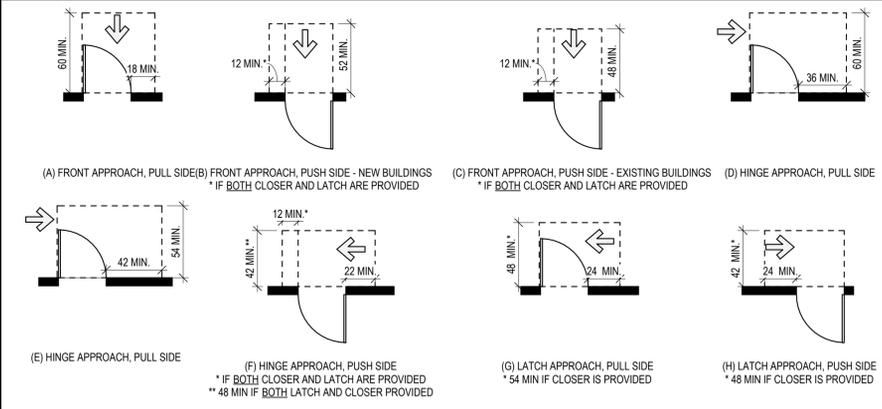
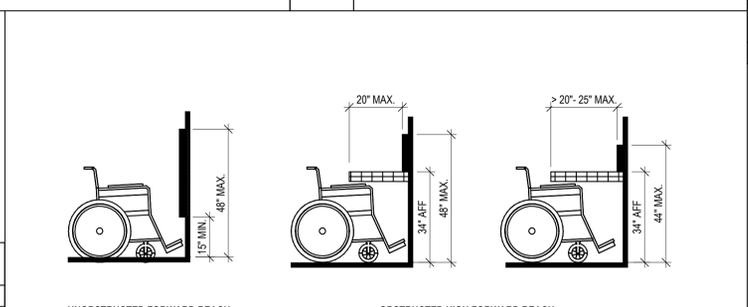
**H1 LAVATORIES AND SINKS      H5 DRINKING FOUNTAIN      H10 BOTTLE FILLING STATION**



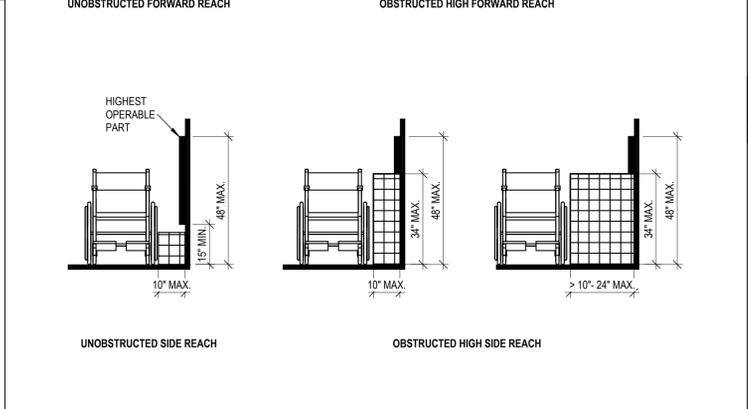
**G13 SHOWER - ALTERNATIVE ROLL-IN TYPE SHOWER**



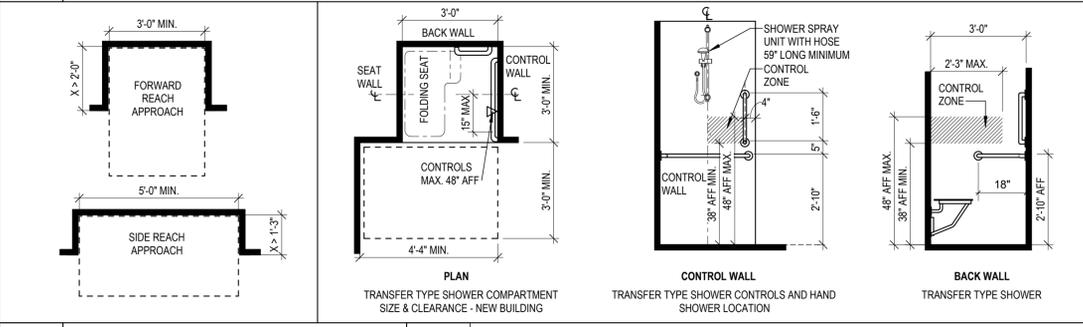
**E1 KNEE AND TOE CLEARANCE**



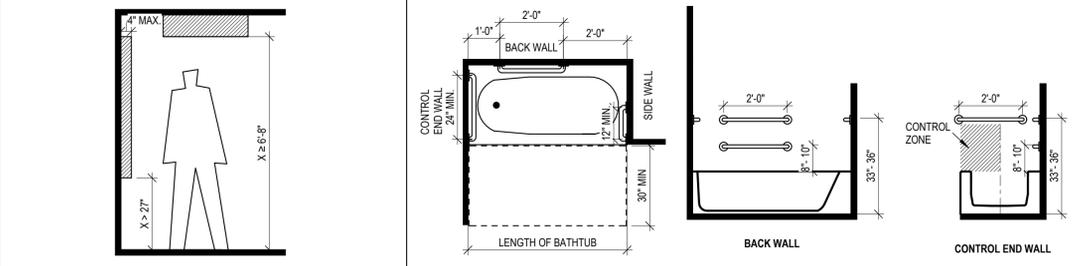
**A1 MANEUVERING CLEARANCE AT MANUAL SWING DOORS**



**A8 ADA REACH RANGE APPROACH      A13 PROTRUDING OBJECT**



**D13 ALCOVE      D16 SHOWER - TRANSFER TYPE SHOWER**



**A16 BATHTUB - WITHOUT PERMANENT SEAT**

**BANGOR PROTOTYPICAL HOUSING**  
 4-UNIT TYPE 1  
 Bangor, Maine

**REVISIONS**

#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #:	010624.05
DRAWN BY:	KMD, DEC
CHECKED BY:	RLD
DRAWING SCALE:	3/8" = 1'-0"

**SHEET TITLE**  
 ACCESSIBILITY DETAILS - ANSI

**G103**

© COPYRIGHT 1985-2025  
 REPRODUCTION OR USE OF THIS  
 DOCUMENT WITHOUT WRITTEN  
 PERMISSION OF GAWRON  
 ASSOCIATES P.C. IS PROHIBITED.

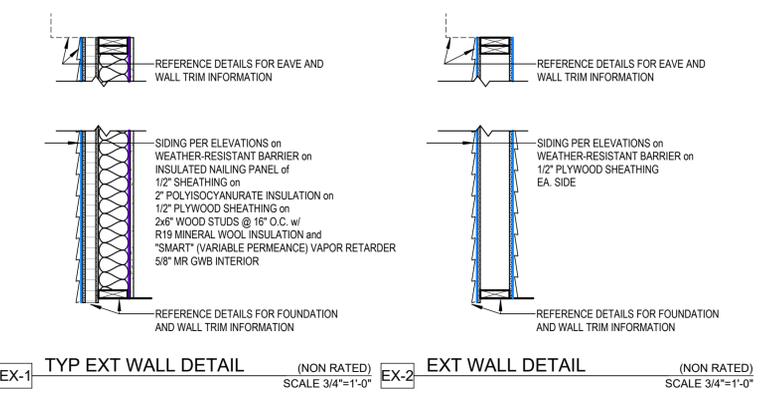
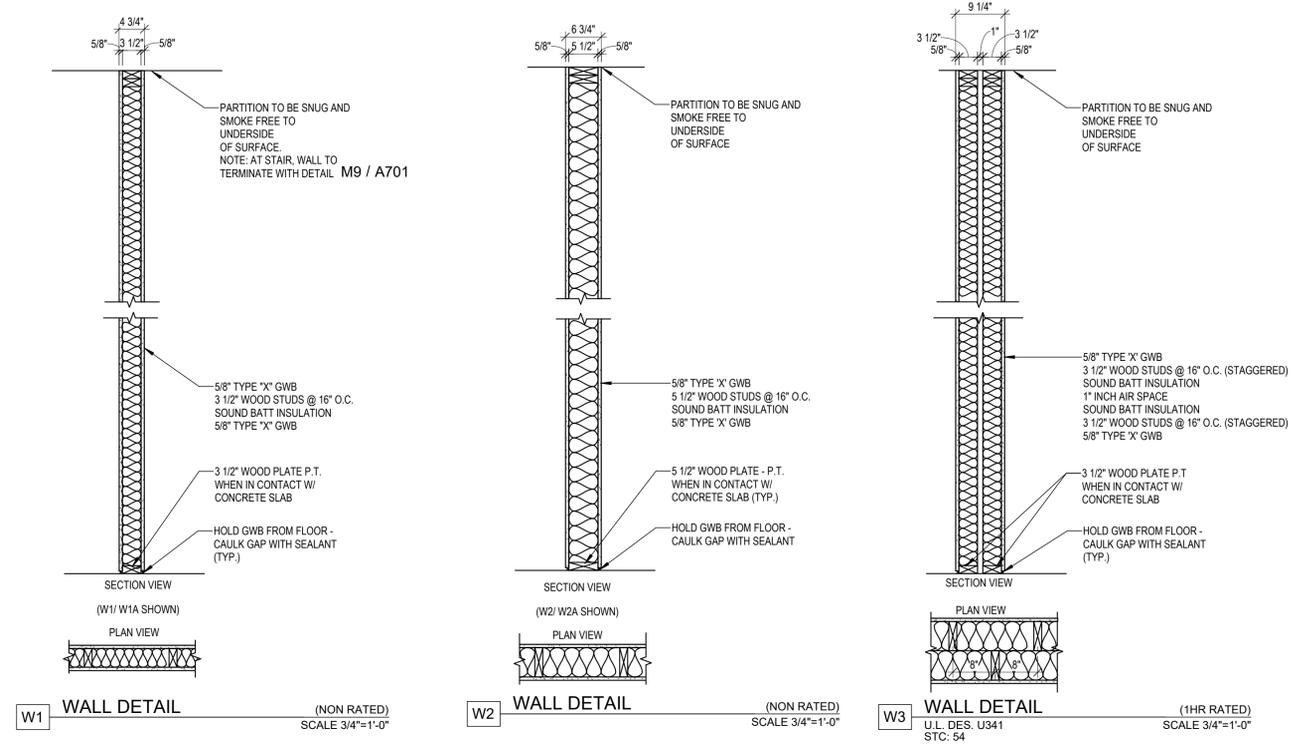
12/8/2025 10:04:29 AM PD, DEC



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

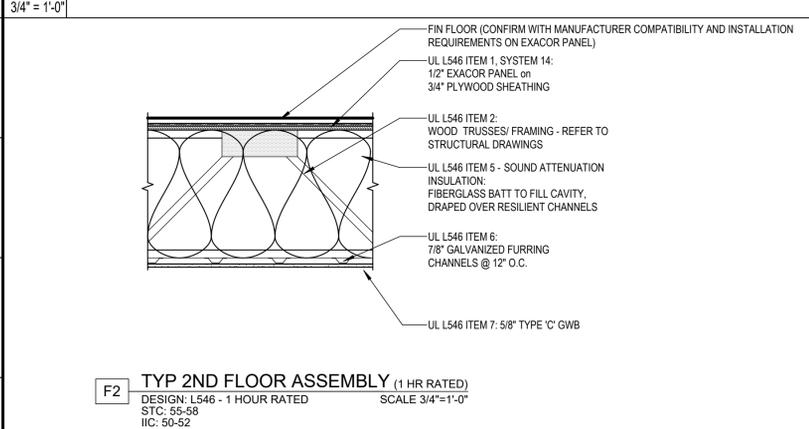
**GAWRON  
TURGEON  
DILLON**  
ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
Bangor, Maine

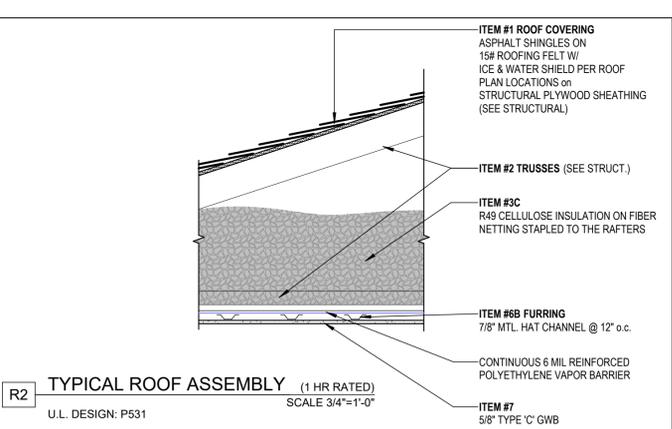


**W1 WALL DETAIL** (NON RATED) SCALE 3/4"=1'-0"  
**W1A WALL DETAIL** (1HR RATED) SCALE 3/4"=1'-0"  
 U.L. DES. U305 STC: 39 +/-  
**W1B SHEAR WALL DETAIL** (NON RATED) SCALE 3/4"=1'-0"  
 ADD 15/32" STRUCTURAL PLYWOOD (BETWEEN GWB AND STUD) - REFER TO STRUCTURAL  
**W2 WALL DETAIL** (NON RATED) SCALE 3/4"=1'-0"  
**W2A WALL DETAIL** (1HR RATED) SCALE 3/4"=1'-0"  
 U.L. DES. U305 STC: 39 +/-  
**W2B SHEAR WALL DETAIL** (NON RATED) SCALE 3/4"=1'-0"  
 ADD 15/32" STRUCTURAL PLYWOOD (BETWEEN GWB AND STUD) - REFER TO STRUCTURAL  
**W3 WALL DETAIL** (1HR RATED) SCALE 3/4"=1'-0"  
 U.L. DES. U341 STC: 54  
**EX-1 TYP EXT WALL DETAIL** (NON RATED) SCALE 3/4"=1'-0"  
**EX-2 EXT WALL DETAIL** (NON RATED) SCALE 3/4"=1'-0"

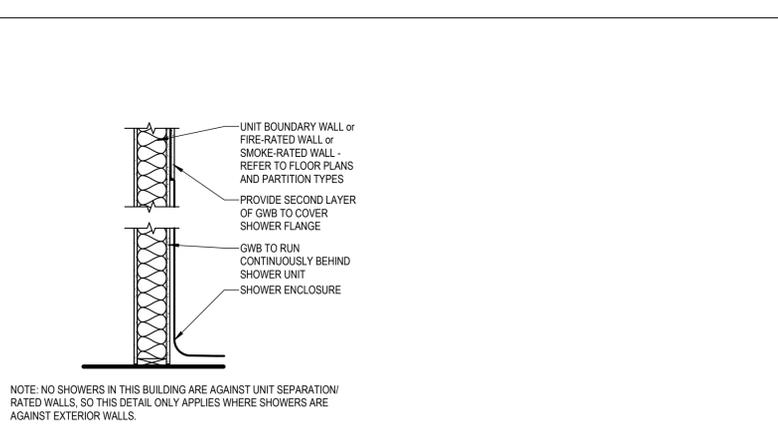
**H1 PARTITION TYPES**



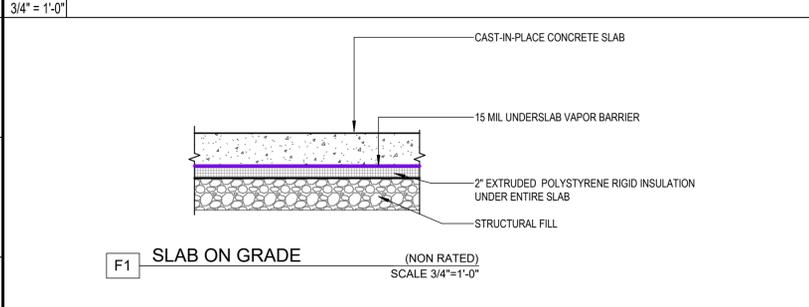
**F2 TYP 2ND FLOOR ASSEMBLY** (1 HR RATED)  
 DESIGN: L546 - 1 HOUR RATED  
 STC: 55-58  
 IIC: 50-52  
 SCALE 3/4"=1'-0"



**R2 TYPICAL ROOF ASSEMBLY** (1 HR RATED)  
 U.L. DESIGN: P531  
 SCALE 3/4"=1'-0"



**D12 WALL CONTINUITY BEHIND SHOWER**  
 SCALE 3/4"=1'-0"



**F1 SLAB ON GRADE** (NON RATED)  
 SCALE 3/4"=1'-0"

**A1 SLAB-ON-GRADE**  
 SCALE 3/4"=1'-0"

- GENERAL PARTITION NOTES:**
1. PROVIDE 5/8" TYPE "MRX" GWB AT ALL BATHROOMS, LAUNDRY ROOMS, KITCHENS, INTERIOR FACES OF EXTERIOR WALLS, AND AREAS OF EXCESSIVE MOISTURE WHETHER INDICATED IN DRAWINGS OR NOT.
  2. SEAL ALL PENETRATIONS THROUGH ALL RATED WALL ASSEMBLIES UTILIZING U.L. DESIGN DETAILING AND APPLICABLE MATERIALS.
  3. SEAL TOP AND BOTTOM OF RATED PARTITIONS UTILIZING U.L. DESIGN DETAILING AND APPLICABLE MATERIALS.
  4. REFER TO FINISH SCHEDULE FOR WALL FINISHES.
  5. WALL BASES, LEAN RAILS, CHAIR RAILS AND TRIM NOT SHOWN FOR CLARITY.
  6. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL AND LOAD-BEARING WALL LOCATIONS.
  7. DOUBLE TOP PLATE AT ALL WOOD-FRAMED WALLS. REFER TO STRUCTURAL DOCUMENTS FOR T.O. NON-BEARING WALLS ATTACHMENT TO TRUSS-FRAMING.
  8. FIBERGLASS MESH DRYWALL TAPE SHALL NOT BE PERMITTED.
  9. INSTALL GWB PANELS AS REQUIRED PER U.L. LISTING.
  10. PROVIDE CONTROL JOINTS IN GWB PER ASTM C840, ALIGN W/ DOOR FRAMES WHERE POSSIBLE.
  11. PREFILL AND SETTING OF TAPE SHALL BE IN SETTING TYPE COMPOUND.
  12. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.
  13. PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING / WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.
  14. SEE REFERENCED ULGA ASSEMBLY LISTING FOR ADDITIONAL INFORMATION AND REQUIREMENTS OF ASSEMBLY.
  15. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
  16. WHERE PARTITIONS ARE SOUND OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTION ALLOWED.

REVISIONS		
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	As indicated

**SHEET TITLE**  
**ASSEMBLY TYPES & DETAILS**

**A001**

© COPYRIGHT 1985-2025  
 REPRODUCTION OR RESALE OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION OF GAWRON TURGEON DILLON ASSOCIATES P.C. IS PROHIBITED.

12/8/2025 10:04:35 AM DEC, BW



OFFICE: 29 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074  
 MAIL: PO BOX #776  
 SCARBOROUGH, MAINE 04070  
 PHONE: 207-883-6307  
 WWW.GTDARCHITECTS.COM

**GAWRON  
 TURGEON  
 DILLON**  
 ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
 Bangor, Maine

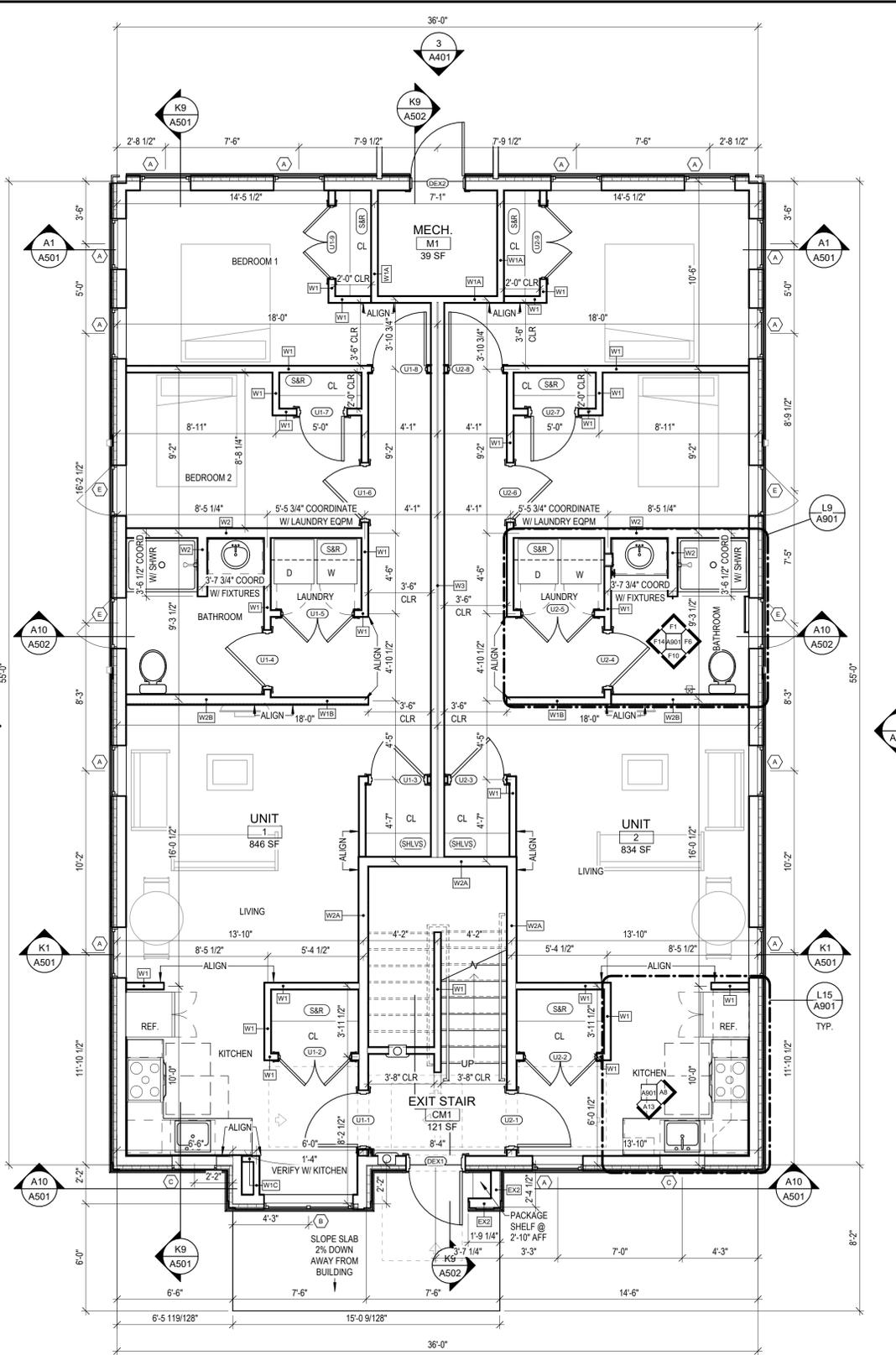
REVISIONS	
#	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	As indicated

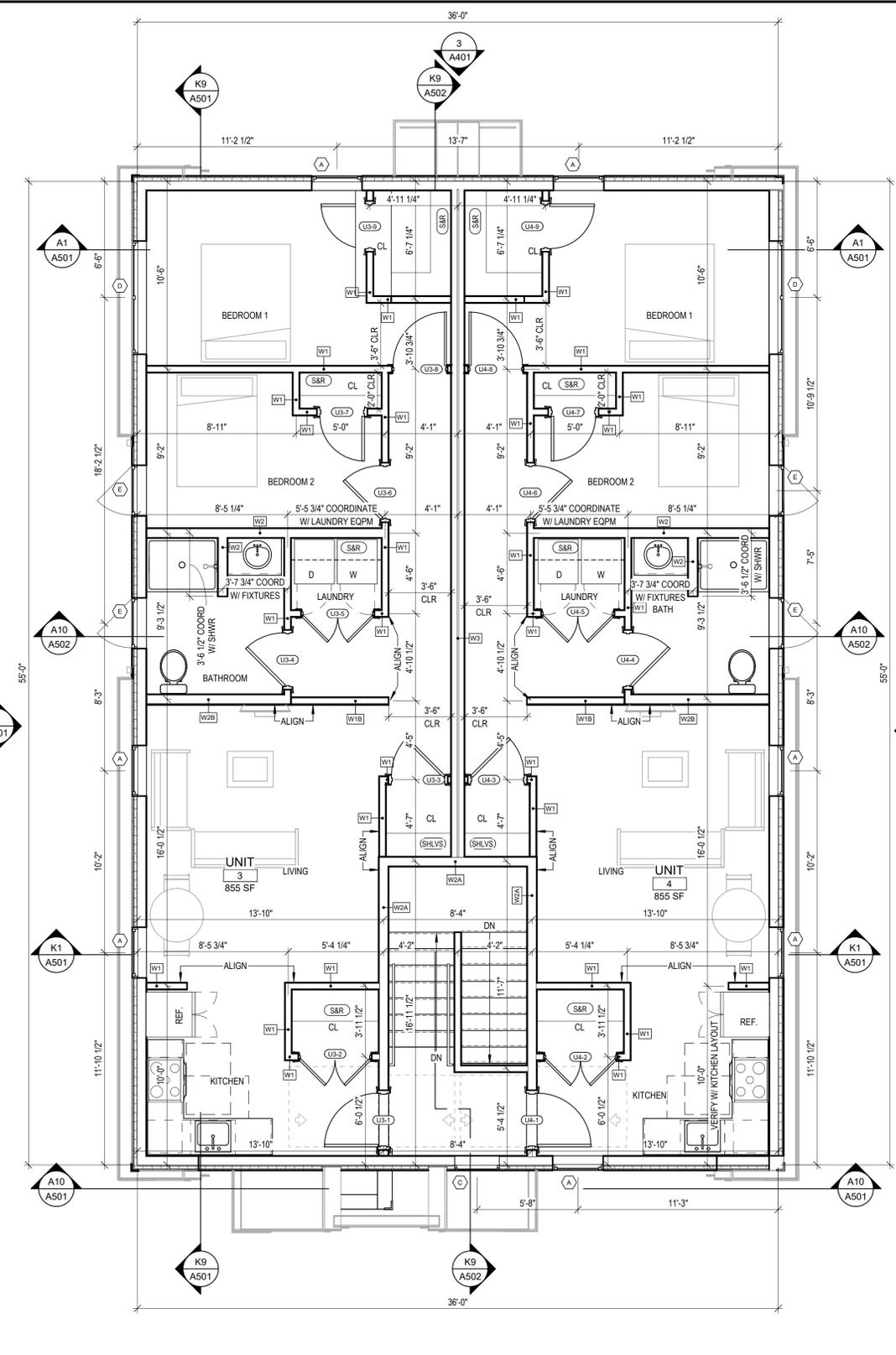
SHEET TITLE  
 FLOOR PLANS

**A101**

© COPYRIGHT 1985-2025  
 REPRODUCTION OR RESALE OF THIS  
 DOCUMENT WITHOUT WRITTEN  
 PERMISSION OF GAWRON  
 ASSOCIATES P.C. IS PROHIBITED.



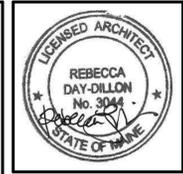
① 1ST FLOOR PLAN  
 1/4" = 1'-0"



② 2ND FLOOR PLAN  
 1/4" = 1'-0"

**A1 FLOOR PLANS**

12/28/2025 10:04:42 ARJC.BW



OFFICE: 29 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074  
 MAIL: PO BOX #776  
 SCARBOROUGH, MAINE 04070  
 PHONE: 207-883-6307  
 WWW.GTDARCHITECTS.COM

**GAWRON  
 TURGEON  
 DILLON**  
 ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
 Bangor, Maine

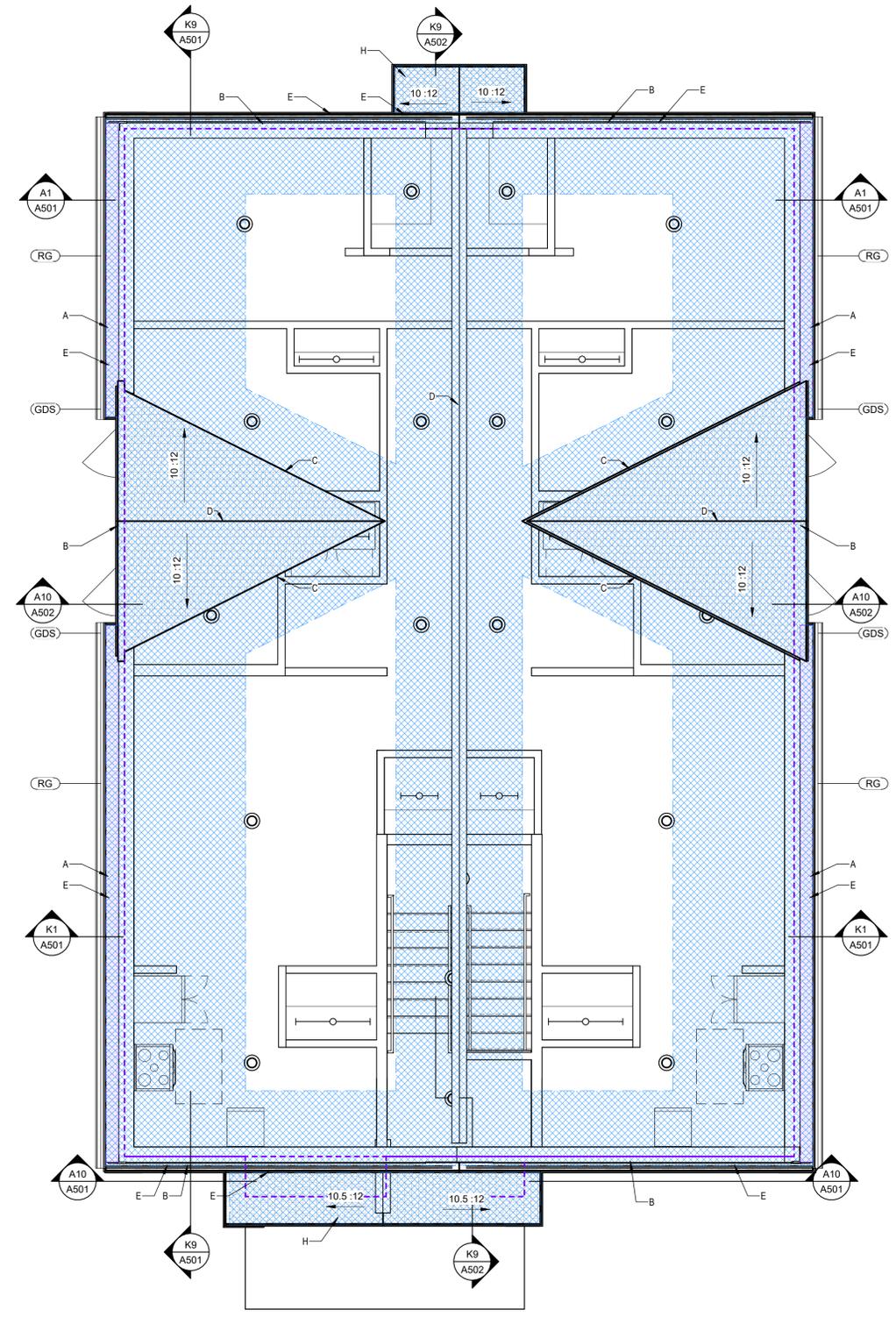
REVISIONS		
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	As indicated

**SHEET TITLE**  
 ROOF PLAN

**A201**

© COPYRIGHT 1985-2025  
 REPRODUCTION OR RESALE OF THIS  
 DOCUMENT WITHOUT WRITTEN  
 PERMISSION OF GAWRON  
 ASSOCIATES P.C. IS PROHIBITED.



**IBC SECTION 1203 VENTILATION REQUIREMENTS:**  
 1203.2 ENCLOSED ATTICS & RAFTER SPACES SHALL HAVE CROSS-VENTILATION FOR EACH SEPARATE SPACE BY VENTILATION OPENINGS PROTECTED AGAINST PRECIPITATION. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. AN AIRSPACE OF MIN 1" SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING.  
 THE NET FREE VENTILATING AREA SHALL BE MIN 1/300 OF THE AREA OF THE SPACE VENTILATED. IF A VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING, AND AT LEAST 40% BUT NOT MORE THAN 50% IS PROVIDED BY VENTILATORS IN THE UPPER PART OF THE VENTILATED SPACE.

**PROVIDE VENTING PRODUCTS WITH THE FOLLOWING:**  
 EXHAUST RIDGE VENT: 18 SQ IN. / LINEAR FOOT  
 INTAKE SOFFIT VENT: 10 SQ IN. / SQ. FT  
 VENTING @ 1:150

ATTIC AREA: 1,888 SF  
 REQUIRED VENTILATION: 1,888 SF / 150 = 12.6 SF

**PROVIDED VENTILATION:**  
 RIDGE VENT - 54' LENGTH x 18 SQ IN / LIN. FT = 972 SQ IN  
 INTAKE VENTILATION - SOFFITS: 61 SF x 10 SQ IN / 10 SQ FT = 610 SF

- ROOF PLAN LEGEND**
- ASPHALT ROOF
  - RIDGE VENT
  - EXTERIOR FACE OF FRAMING BELOW
  - (RG) ROOF GUTTER - RECOMMENDED LOCATIONS
  - (GDS) GUTTER DOWNSPOUT - RECOMMENDED LOCATIONS
  - ICE & WATER SHIELD
  - VENTILATED SOFFIT

- ROOFING NOTES:**
- INSTALL SYNTHETIC WATER-RESISTANT ROOFING UNDERLAYMENT, WHICH IS COMPATIBLE WITH ADHERED WATERPROOF SHEET UNDERLAYMENT, OVER ENTIRE SURFACE OF ROOF FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CERTAINTED ROOFRUNNER OR SIMILAR)
  - INSTALL SELF-ADHERING SHEET UNDERLAYMENT, WRINKLE-FREE ON ROOF DECK. COMPLY WITH LOW-TEMPERATURE INSTALLATION RESTRICTIONS OF UNDERLAYMENT MANUFACTURER IF APPLICABLE. INSTALL AT LOCATIONS INDICATED BELOW AND ON DRAWINGS, LAPPED IN DIRECTION TO SHED WATER. LAP SIDES AND ENDS PER MANUFACTURER'S INSTRUCTIONS. ROLL LAPS WITH ROLLER. (GRACE VVOCOR ULTRA OR SIM.)
  - A. EAVES: EXTEND FROM EDGE OF EAVES UP ROOF SLOPE MIN 6 FEET BEYOND INTERIOR FACE OF EXTERIOR WALL
  - B. RAKES: EXTEND FROM EDGES OF RAKE MIN 3 FEET BEYOND INTERIOR FACE OF EXTERIOR WALL
  - C. VALLEYS: EXTEND FROM LOWEST TO HIGHEST POINT MIN 3 FEET CUT FROM EACH SIDE OF VALLEY CENTERLINE. LAP ROOF UNDERLAYMENT OVER VALLEY UNDERLAYMENT MIN 6 INCHES AND SEAL WITH ASPHALT PLASTIC CEMENT.
  - D. RIDGES: EXTEND MIN 3 FEET ON EACH SIDE WITHOUT OBSTRUCTING CONTINUOUS RIDGE VENT SLOT.
  - E. SIDEWALLS ABOVE LOW ROOF: EXTEND BEYOND SIDEWALL MIN 3 FEET AND RETURN VERTICALLY AGAINST SIDEWALL MIN 18 INCHES.
  - F. HIPS: EXTEND MIN 18 INCHES ON EACH SIDE.
  - G. DORMERS, CHIMNEYS, SKYLIGHTS, AND OTHER ROOF-PENETRATING ELEMENTS: EXTEND BEYOND PENETRATING ELEMENT MIN 3 FEET AND RETURN VERTICALLY AGAINST PENETRATING ELEMENT MIN 8 INCHES.
  - H. PROVIDE COMPLETE ICE & WATER SHIELD COVERAGE TO ENTIRE CANOPY OR PORCH ROOF(S).
  - COORDINATE ROOF DRAINAGE WITH SITE CONDITIONS.
  - PROVIDE OPENINGS IN SHEATHING BETWEEN MAIN ROOF AND GABLE LAY-ONS - COORDINATE WITH STRUCTURAL DRAWINGS.

**A8 ROOF PLAN**

1/4" = 1'-0"

12/28/2025 10:04:48 AM DEC, BW



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON**  
ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
Bangor, Maine

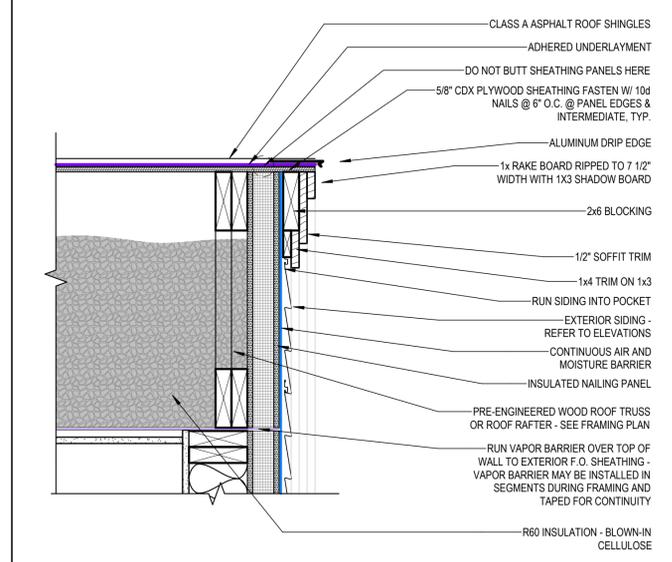
REVISIONS		
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	1 1/2" = 1'-0"

SHEET TITLE  
ROOF DETAILS

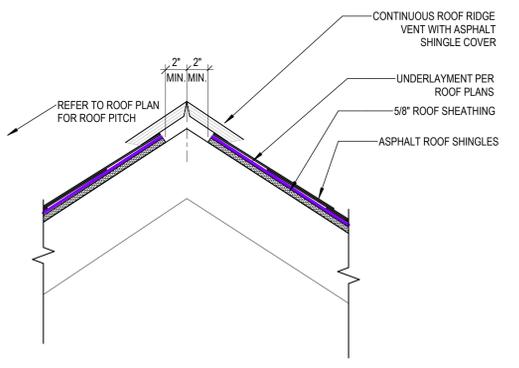
**A202**

© COPYRIGHT 1985-2025  
REPRODUCTION OR REUSE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GARDNER  
ASSOCIATES P.C. IS PROHIBITED.



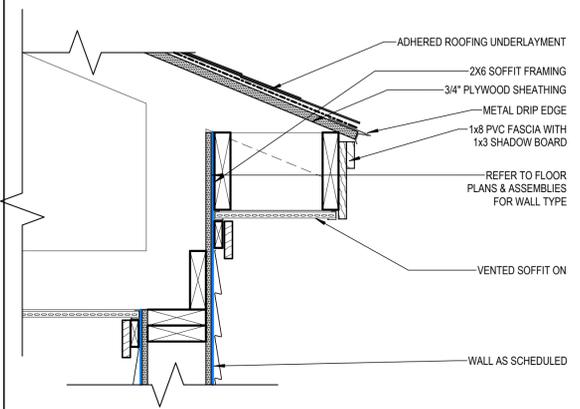
**L14 ROOF RAKE DETAIL**

1 1/2" = 1'-0"



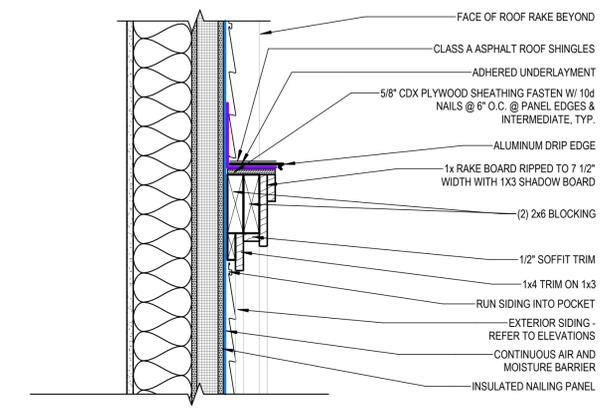
**L5 ROOF RIDGE DETAIL**

1 1/2" = 1'-0"



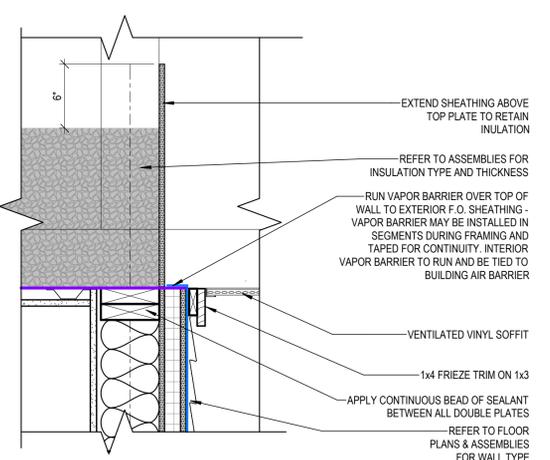
**E10 PORCH EAVE DTL**

1 1/2" = 1'-0"



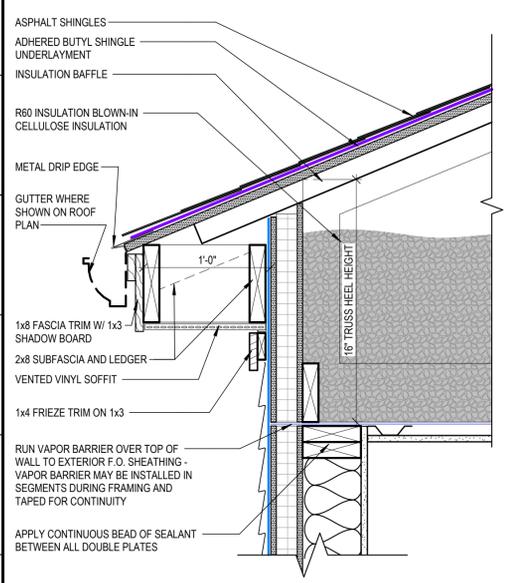
**E14 LOWER RAKE DETAIL**

1 1/2" = 1'-0"



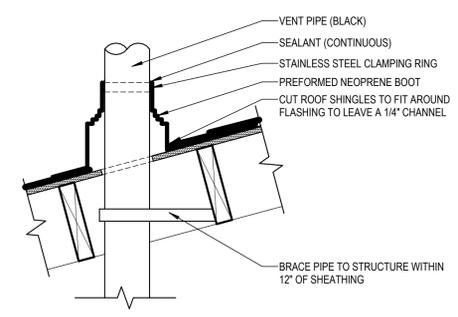
**E5 T.O. WALL @ COVERED PORCH**

1 1/2" = 1'-0"



**E1 TYPICAL ROOF EAVE DETAIL**

1 1/2" = 1'-0"

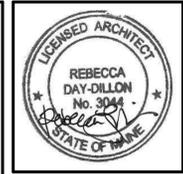


**A1 ROOF PENETRATION DETAIL**

1 1/2" = 1'-0"

NOTE:  
ALL ROOF PENETRATIONS TO BE LOCATED AWAY FROM THE FRONT OF THE BUILDING.

12/8/2025 10:04:54 AM DEC, BW



OFFICE: 29 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074  
 MAIL: PO BOX #776  
 SCARBOROUGH, MAINE 04070  
 PHONE: 207-883-6307  
 WWW.GTDARCHITECTS.COM

**GAWRON  
 TURGEON  
 DILLON**  
 ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
 Bangor, Maine

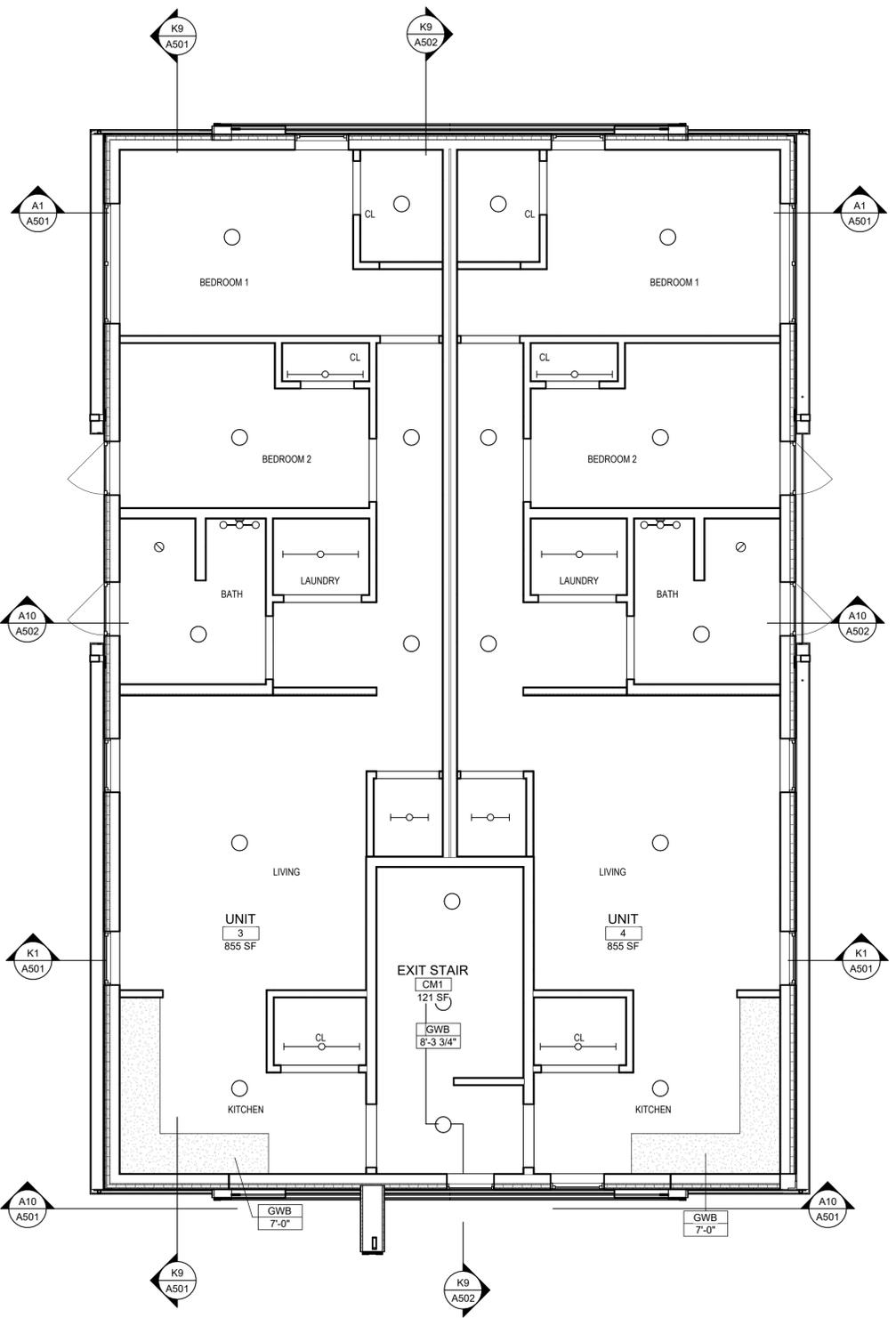
REVISIONS		
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	As indicated

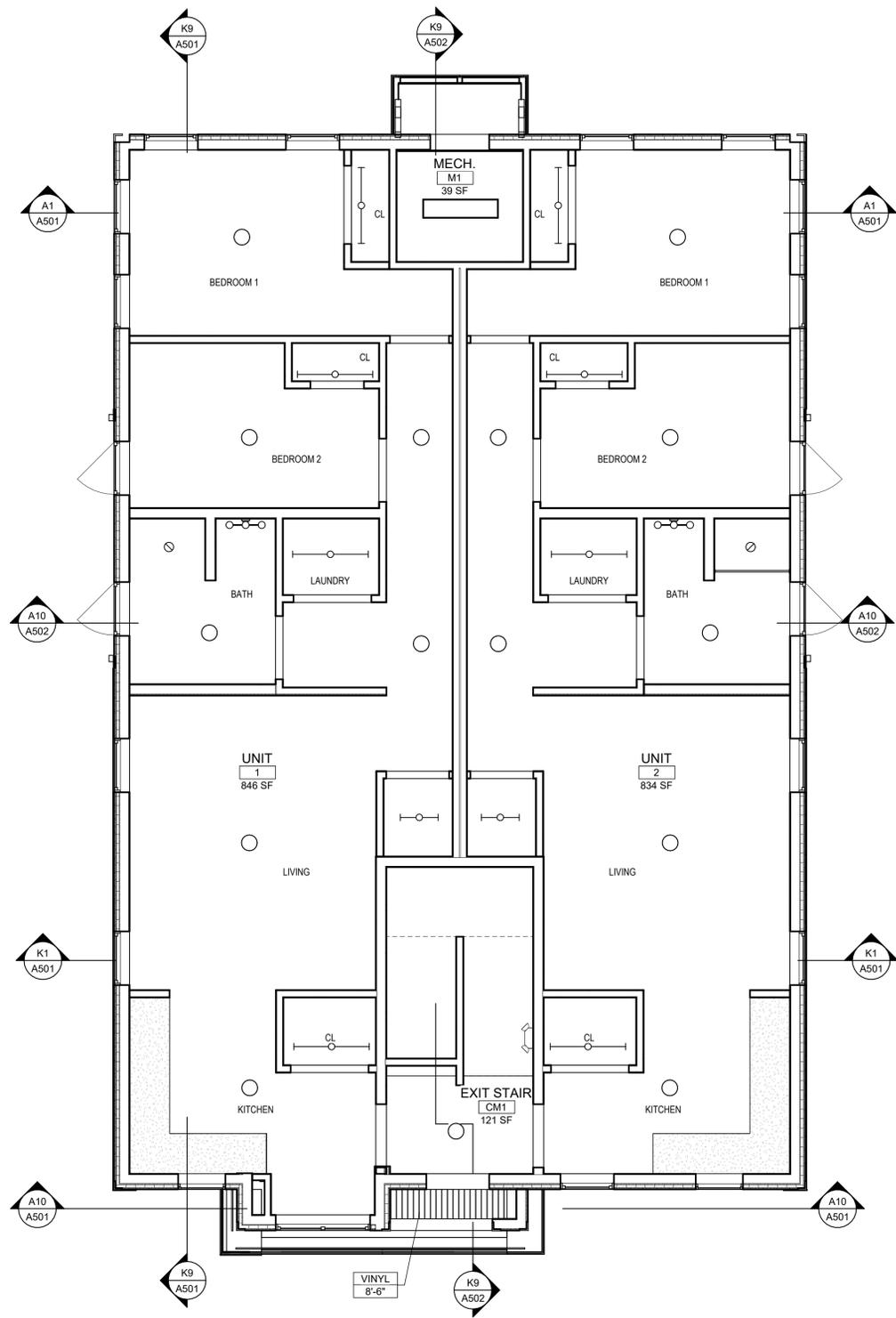
**SHEET TITLE**  
 REFLECTED  
 CEILING PLANS

**A301**

© COPYRIGHT 1985-2025  
 REPRODUCTION OR RESALE OF THIS  
 DOCUMENT WITHOUT WRITTEN  
 PERMISSION OF GAWRON  
 ASSOCIATES P.C. IS PROHIBITED.



② 2ND FLOOR REFLECTED CEILING PLAN  
 1/4" = 1'-0"



① 1ST FLOOR REFLECTED CEILING PLAN  
 1/4" = 1'-0"

**LIGHTING LEGEND**

- 3-LIGHT VANITY LIGHT
- 6" RECESSED LED CAN LIGHT (WET RATED AT SHOWERS)
- WALL SCONCE LIGHT
- 1X4 LINEAR BOX LIGHT
- SURFACE-MOUNTED CEILING LIGHT
- STRIP LIGHT (CLOSETS)
- UNDER-CABINET LIGHT

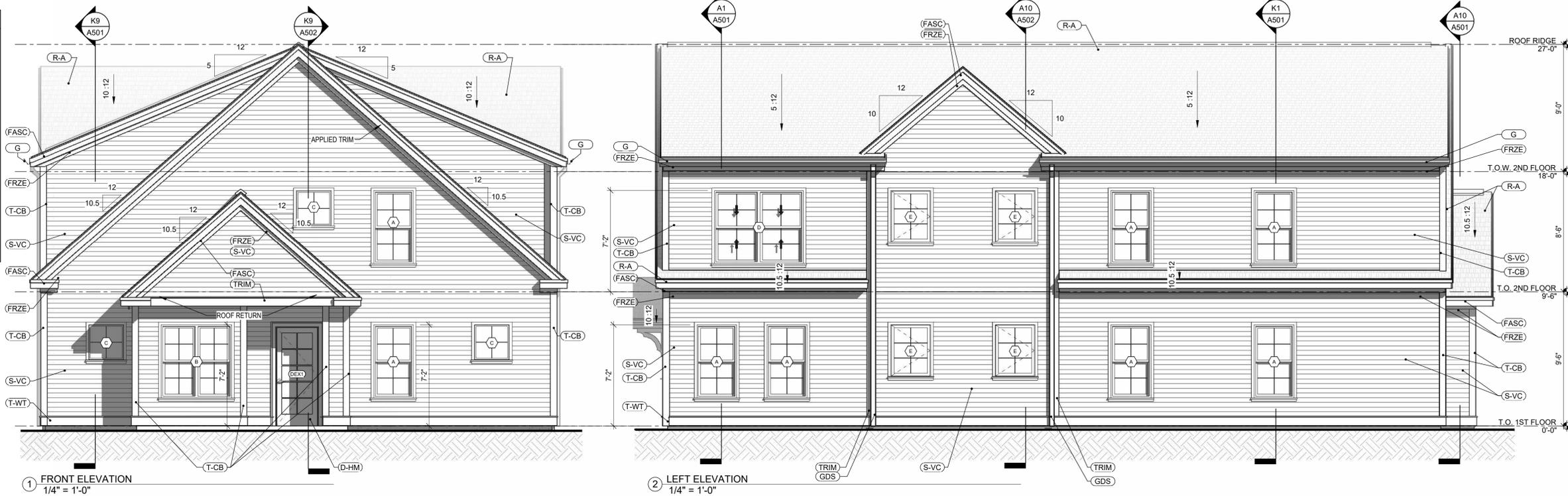
**NOTE:**

- ALL LIGHTS IN BATHROOMS TO BE MOISTURE-RATED
- ALL EXTERIOR LIGHTS TO BE EXTERIOR RATED
- CEILING TO RUN CONTINUOUSLY UNDER ALL SOFFITS FOR CONTINUITY OF FIRE-RATED FLOOR ASSEMBLY. PROVIDE RATED ASSEMBLY AS SCHEDULED. COORDINATE ADDITIONAL SOFFITS OR DROPPED CEILINGS BELOW THIS COMPLETE ASSEMBLY WITH MECHANICAL SYSTEM.

12/28/2025 10:18:27 AM DEC, BW

EXTERIOR ELEVATION NOTES:  
 1. COLORS ARE FOR GRAPHICAL PURPOSES ONLY. ACTUAL COLORS MAY VARY.  
 2. GRADES MAY VARY FROM SHOWN.

EXTERIOR MATERIALS LEGEND	
(R-A)	ROOFING - ASPHALT SHINGLES, COLOR TBS BY OWNER
(G)	GUTTER SYSTEM, COLOR TBS BY OWNER - REFER TO ROOF PLAN
(FASC)	SYNTHETIC FASCIA - 1x3 or 1x6, COLOR TBS BY OWNER
(FRZE)	SYNTHETIC FRIEZE - 1x4, COLOR TBS BY OWNER
(T-CB)	SYNTHETIC TRIM - CORNERBOARD - 1x6, COLOR TBS BY OWNER
(T-WT)	SYNTHETIC TRIM - WATERTABLE - 1x8, COLOR TBS BY OWNER
(TRIM)	SYNTHETIC TRIM - 1x8, COLOR TBS BY OWNER
(S-VC)	SIDING - VINYL CLAPBOARD, COLOR TBS BY OWNER
(D-HM)	EXTERIOR DOOR - HOLLOW METAL, PTD., COLOR TBS BY OWNER
(PAN)	SYNTHETIC 1/2" THICK PANEL W 1x6 SYNTHETIC TRIM
(W)	VINYL WINDOW, REFER TO WINDOW SCHEDULE

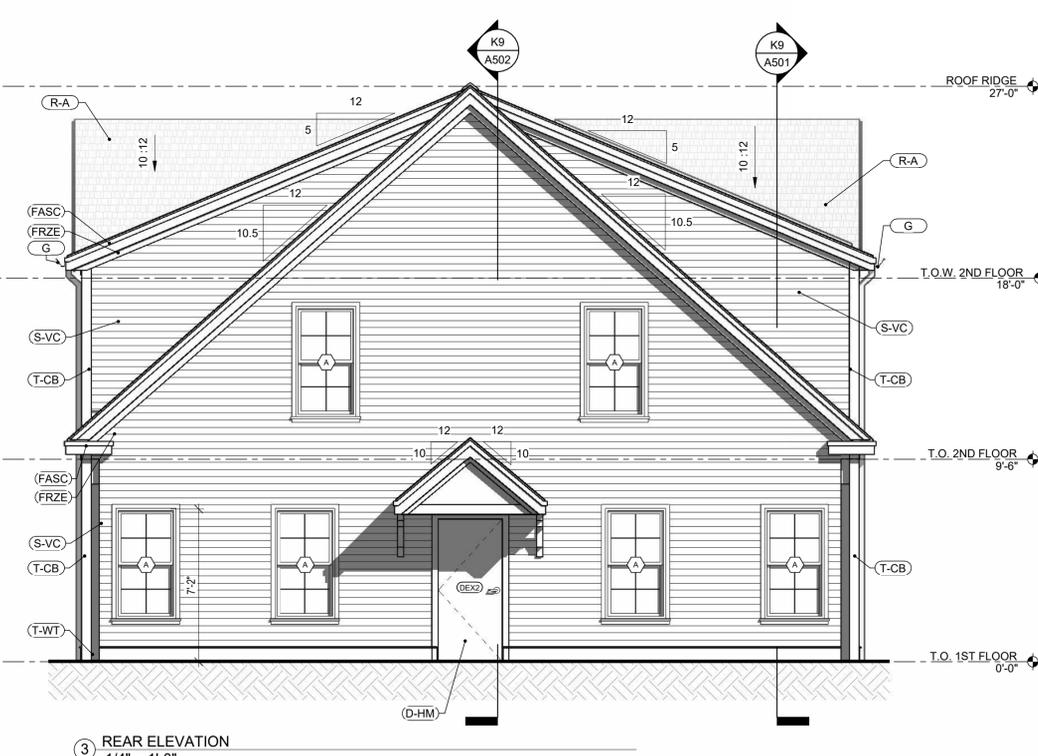


1 FRONT ELEVATION  
1/4" = 1'-0"

2 LEFT ELEVATION  
1/4" = 1'-0"



4 RIGHT ELEVATION  
1/4" = 1'-0"



3 REAR ELEVATION  
1/4" = 1'-0"



OFFICE: 29 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074  
 MAIL: PO BOX #776  
 SCARBOROUGH, MAINE 04070  
 PHONE: 207-883-6307  
 WWW.GTDARCHITECTS.COM

**GAWRON  
 TURGEON  
 DILLON**  
 ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
 Bangor, Maine

REVISIONS		
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #:	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE:	As indicated

SHEET TITLE  
**BUILDING ELEVATIONS**

**A401**

© COPYRIGHT 1985-2025  
 REPRODUCTION OR RESALE OF THIS  
 DOCUMENT WITHOUT WRITTEN  
 PERMISSION OF GAWRON  
 ASSOCIATES P.C. IS PROHIBITED.

12/8/2025 10:05:11 AM DEC, BW



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON**  
ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
Bangor, Maine

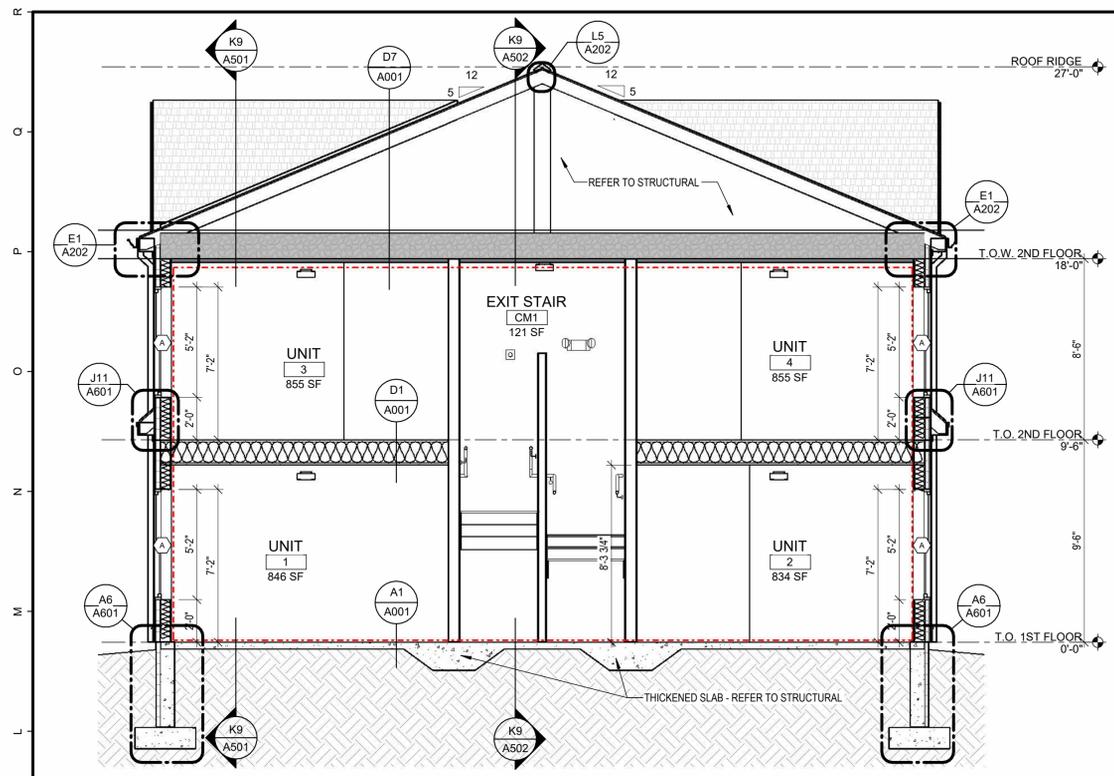
REVISIONS		
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	As indicated

**SHEET TITLE**  
BUILDING SECTIONS

**A501**

© COPYRIGHT 1985-2025  
REPRODUCTION OR REUSE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.



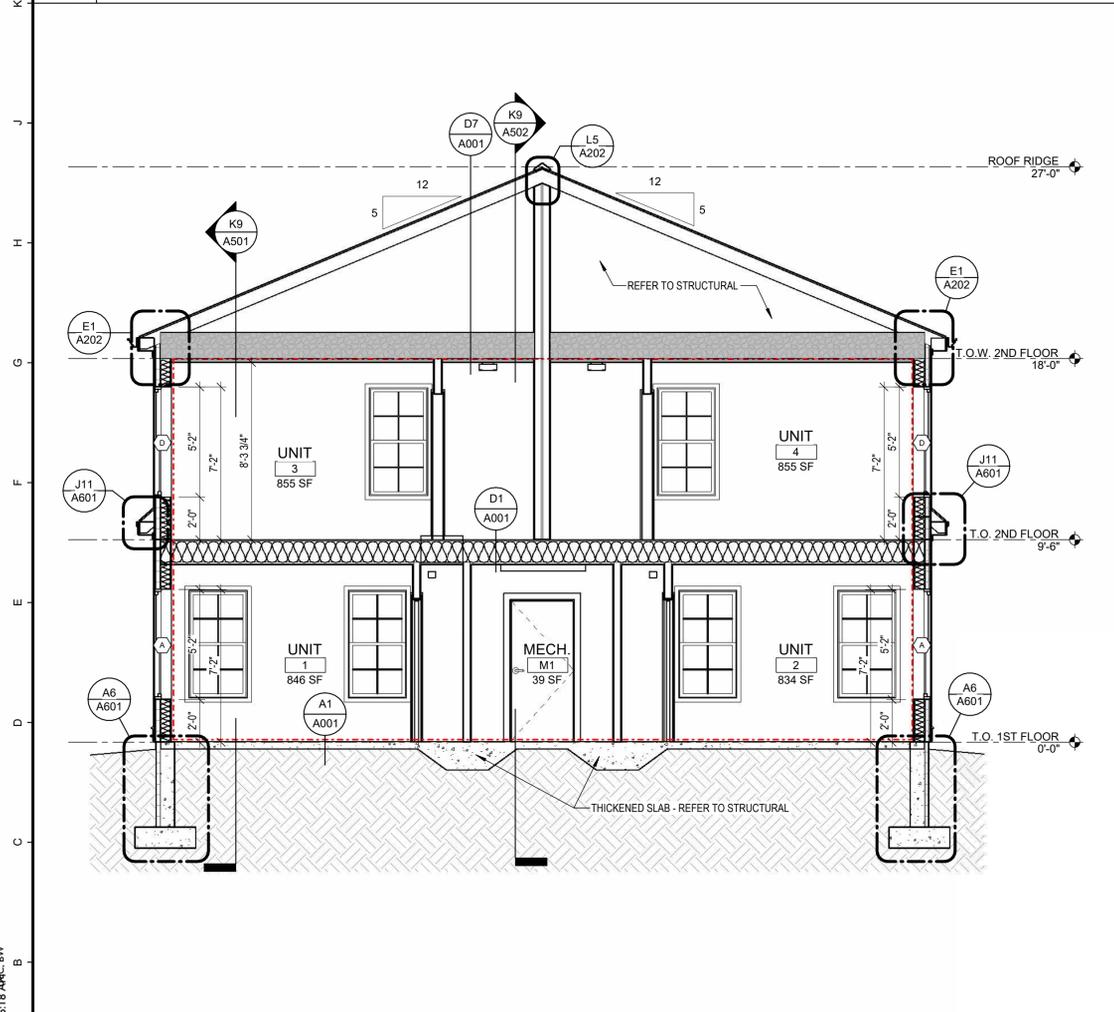
**K1 BUILDING SECTION**

1/4" = 1'-0"



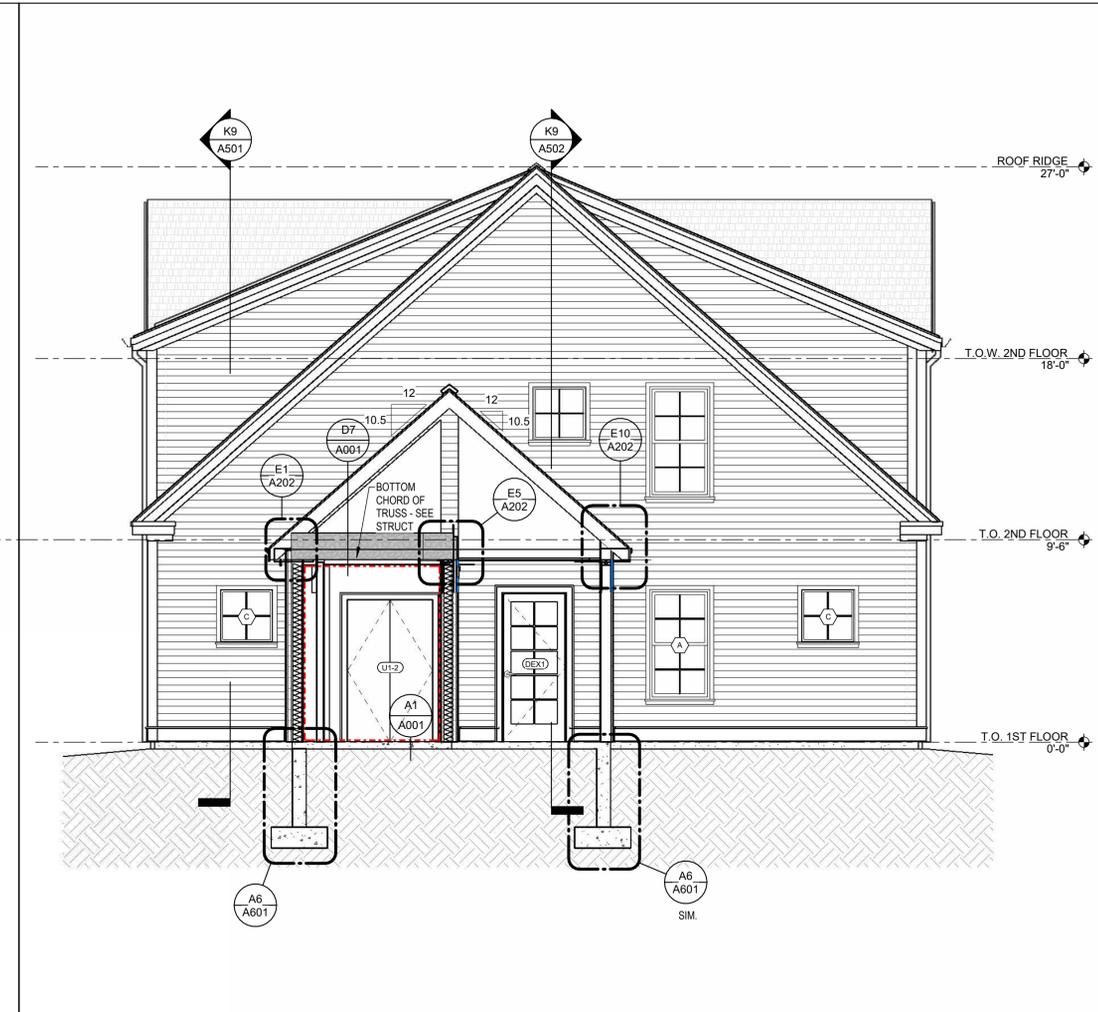
**K9 BUILDING SECTION**

1/4" = 1'-0"



**A1 BUILDING SECTION**

1/4" = 1'-0"



**A10 BUILDING SECTION**

1/4" = 1'-0"

BUILDING SECTION LEGEND	
	DELINEATES THERMAL BUILDING ENVELOPE

- NOTES:**
- BUILDING AIR BARRIER SHALL BE CONTINUOUS ACROSS THERMAL ENVELOPE OF BUILDING.
  - EXTERIOR SHEATHING: ALL EXTERIOR WALL SHEATHING JOINTS SHALL BE TAPED & SEALED WITH A COMPATIBLE, MANUFACTURER APPROVED CONSTRUCTION TAPE OR ADHERED WEATHER BARRIER.
  - CEILING AIR BARRIER: ESTABLISH A CONTINUOUS TAPE & SEALED LAYER OF AIR TIGHTNESS ACROSS THE CEILING PLANE OF THE BUILDING BEFORE INTERIOR WALL PARTITIONS ARE ERECTED.
  - ROUGH OPENINGS: SEAL WINDOWS, DOORS, LOUVERS, VENTS, OUTDOOR AIR DUCTS, AND ANY OTHER PENETRATIONS IN THE EXTERIOR AIR BARRIER WITH COMPATIBLE AND APPROVED CONSTRUCTION TAPE.
  - BLIND CORNERS AND CRACKS IN THE FRAMING OR EXTERIOR SHEATHING, INCLUDING BUT NOT LIMITED TO JOIST POCKETS, STRUCTURAL FRAMING, METAL DECK FLUTES, CHANGES IN MATERIALS, AND LOUVER BLANK-OFF PANEL.
  - ROOF TRUSSEXTERIOR WALL JOINTS: TOP PLATES UNDER TRUSS ROOFS MUST BE PREPARED IN ADVANCE OF SETTING TRUSSES WITH A CONTINUOUS AIR BARRIER MATERIAL TO INTEGRATE THE EXTERIOR WALL AIR BARRIER AND INTERIOR BOTTOM-OF-TRUSS AIR BARRIER.
  - FOUNDATION SILLS AND JOIST HEADERS BETWEEN FLOORS, CANTILEVERED JOISTS SHALL BE SEALED WITH SHEET GOODS, GASKETS OR SEALANT THAT WILL REMAIN FLEXIBLE FOR THE LIFE OF THE BUILDING.
  - UTILITY AND OTHER SMALL PENETRATIONS: SEAL UTILITY PENETRATIONS THROUGH EXTERIOR WALLS AND CEILINGS WITH LOW-EXPANSION POLYURETHANE FOAM OR ACOUSTICAL SEALANT, CONSTRUCTION TAPE OR BUILDING GASKET. NO ELECTRICAL CEILING BOXES SHALL PENETRATE ATTIC AIR BARRIER.
  - MINIMIZE ALL WIRES, PLUMBING STACKS, CONDUITS AND PIPES THAT PENETRATE THE TOP PLATE OF INTERIOR AND EXTERIOR WALLS. SEAL ALL PENETRATIONS OF THE ATTIC AIR BARRIER WITH LOW-EXPANSION POLYURETHANE FOAM OR ACOUSTICAL SEALANT, CONSTRUCTION TAPE OR BUILDING GASKETS.
  - UNIT-TO-UNIT COMPARTMENTALIZATION: ALL WALLS DEFINING UNITS AND SCHEDULED ROOMS SHALL BE DEFINED WITH A CONTINUOUS LAYER OF GYPSUM WALLBOARD. ALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING, SHALL BE CONTINUOUSLY AIR-SEALED TO THE UNIT AIR BARRIER, IE. INTERIOR FACE OF GYPSUM WALLBOARD: WIRES, CONDUIT, PIPES, DUCTS, VAPOR BARRIER BOXES AND JUNCTION BOXES. USE ACRYLIC LATEX SEALANT.
  - AT WET CONDITIONS, USE SILICONE SEALANT. AT FIRE-RATED PARTITIONS, EMPLOY LISTED UL DETAILING. ENCLOSE RECESSED BOXES OR NICHES LARGER THAN 16 SQUARE INCHES (E.G. MEDICINE CABINETS) WITH GYPSUM WALLBOARD AND FULLY SEAL ALL JOINTS AND PENETRATIONS. AT PLUMBING VALVES AND ACCESS PANELS, COMPARTMENTALIZE STUD CAVITY WITH VERTICAL AND HORIZONTAL GYPSUM WALL BOARD AND FULLY SEAL ALL JOINTS. INFILL ANNULAR SPACE OF ANY CONDUIT FEEDING ELECTRICAL, COMMUNICATIONS OR SIMILAR WITH PUTTY OR APPROVED SEALANT.

12/8/2025 10:05:18 AM DEC, BW



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON**  
ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
Bangor, Maine

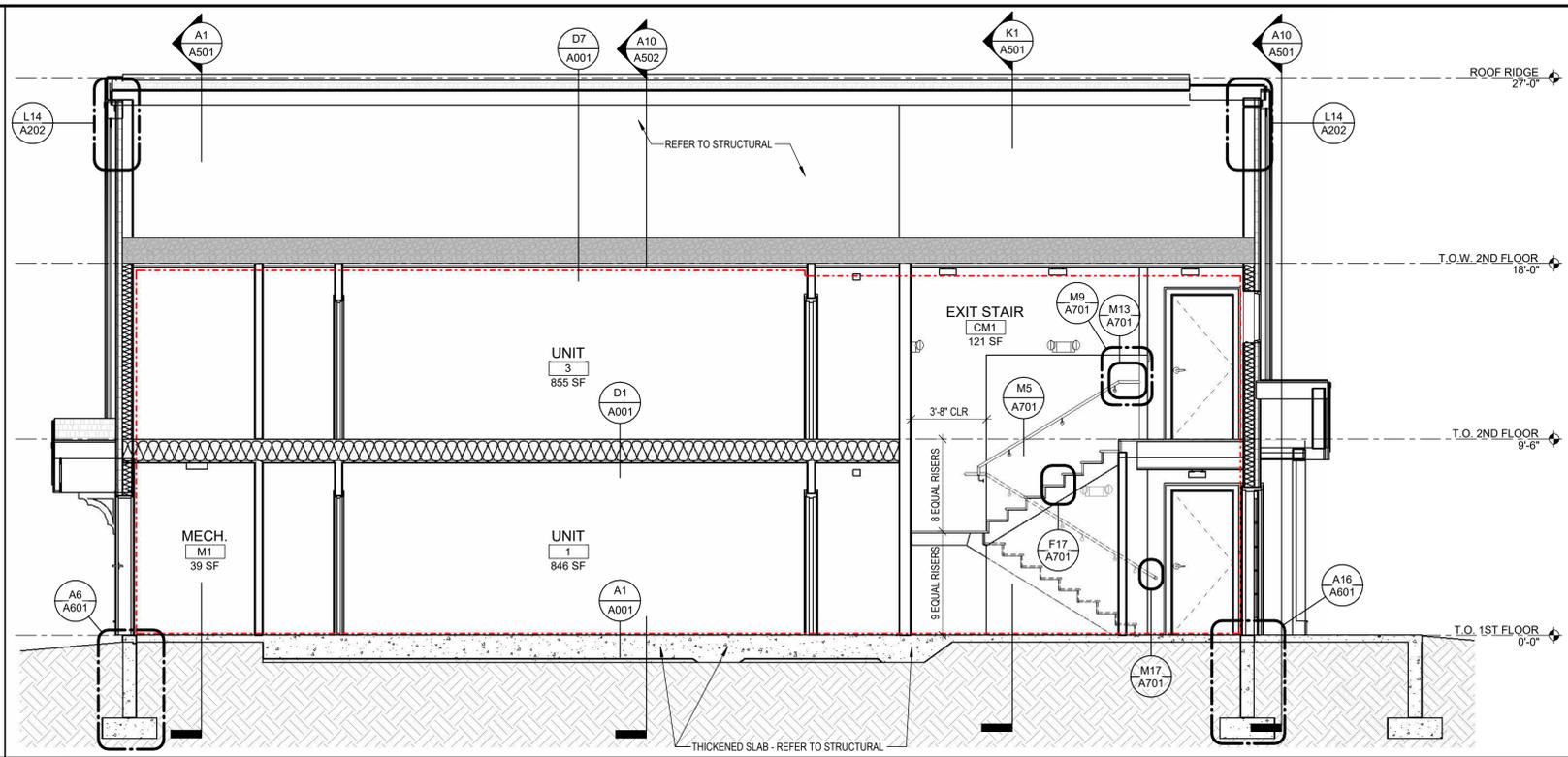
REVISIONS		
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	As indicated

**SHEET TITLE**  
**BUILDING SECTIONS**

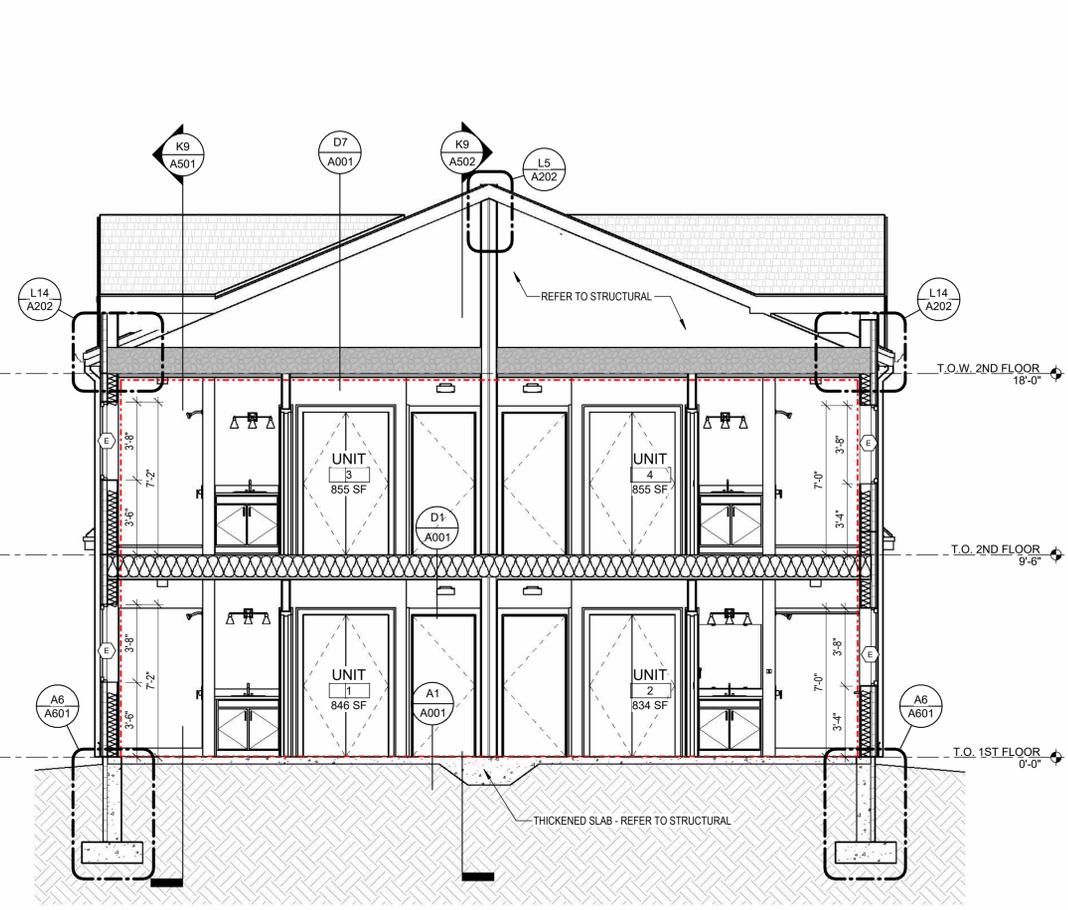
**A502**

© COPYRIGHT 1985-2025  
REPRODUCTION OR RESALE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.



**K9 BUILDING SECTION**

1/4" = 1'-0"



**A10 BUILDING SECTION**

1/4" = 1'-0"

BUILDING SECTION LEGEND	
	DELINEATES THERMAL BUILDING ENVELOPE

- NOTES:**
- BUILDING AIR BARRIER SHALL BE CONTINUOUS ACROSS THERMAL ENVELOPE OF BUILDING.
  - EXTERIOR SHEATHING: ALL EXTERIOR WALL SHEATHING JOINTS SHALL BE TAPED & SEALED WITH A COMPATIBLE, MANUFACTURER APPROVED CONSTRUCTION TAPE OR ADHERED WEATHER BARRIER.
  - CEILING AIR BARRIER: ESTABLISH A CONTINUOUS TAPE & SEALED LAYER OF AIR TIGHTNESS ACROSS THE CEILING PLANE OF THE BUILDING BEFORE INTERIOR WALL PARTITIONS ARE ERECTED.
  - ROUGH OPENINGS: SEAL WINDOWS, DOORS, LOUVERS, VENTS, OUTDOOR AIR DUCTS, AND ANY OTHER PENETRATIONS IN THE EXTERIOR AIR BARRIER WITH COMPATIBLE AND APPROVED CONSTRUCTION TAPE.
  - BLIND CORNERS AND CRACKS IN THE FRAMING OR EXTERIOR SHEATHING, INCLUDING BUT NOT LIMITED TO JOIST POCKETS, STRUCTURAL FRAMING, METAL DECK FLUTES, CHANGES IN MATERIALS, AND LOUVER BLANK-OFF PANEL.
  - ROOF TRUSSEXTERIOR WALL JOINTS: TOP PLATES UNDER TRUSS ROOFS MUST BE PREPARED IN ADVANCE OF SETTING TRUSSES WITH A CONTINUOUS AIR BARRIER MATERIAL TO INTEGRATE THE EXTERIOR WALL AIR BARRIER AND INTERIOR BOTTOM-OF-TRUSS AIR BARRIER.
  - FOUNDATION SILLS AND JOIST HEADERS BETWEEN FLOORS, CANTILEVERED JOISTS SHALL BE SEALED WITH SHEET GOODS, GASKETS OR SEALANT THAT WILL REMAIN FLEXIBLE FOR THE LIFE OF THE BUILDING.
  - UTILITY AND OTHER SMALL PENETRATIONS: SEAL UTILITY PENETRATIONS THROUGH EXTERIOR WALLS AND CEILINGS WITH LOW-EXPANSION POLYURETHANE FOAM OR ACOUSTICAL SEALANT, CONSTRUCTION TAPE OR BUILDING GASKET. NO ELECTRICAL CEILING BOXES SHALL PENETRATE ATTIC AIR BARRIER.
  - MINIMIZE ALL WIRES, PLUMBING STACKS, CONDUITS AND PIPES THAT PENETRATE THE TOP PLATE OF INTERIOR AND EXTERIOR WALLS. SEAL ALL PENETRATIONS OF THE ATTIC AIR BARRIER WITH LOW-EXPANSION POLYURETHANE FOAM OR ACOUSTICAL SEALANT, CONSTRUCTION TAPE OR BUILDING GASKETS.
  - UNIT-TO-UNIT COMPARTMENTALIZATION: ALL WALLS DEFINING UNITS AND SCHEDULED ROOMS SHALL BE DEFINED WITH A CONTINUOUS LAYER OF GYPSUM WALLBOARD. ALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING, SHALL BE CONTINUOUSLY AIR-SEALED TO THE UNIT AIR BARRIER, IE. INTERIOR FACE OF GYPSUM WALLBOARD: WIRES, CONDUIT, PIPES, DUCTS, VAPOR BARRIER BOXES AND JUNCTION BOXES. USE ACRYLIC LATEX SEALANT.
  - AT WET CONDITIONS, USE SILICONE SEALANT. AT FIRE-RATED PARTITIONS, EMPLOY LISTED UL DETAILING. ENCLOSE RECESSED BOXES OR NICHES LARGER THAN 16 SQUARE INCHES (E.G. MEDICINE CABINETS) WITH GYPSUM WALLBOARD AND FULLY SEAL ALL JOINTS AND PENETRATIONS. AT PLUMBING VALVES AND ACCESS PANELS, COMPARTMENTALIZE STUD CAVITY WITH VERTICAL AND HORIZONTAL GYPSUM WALL BOARD AND FULLY SEAL ALL JOINTS. INFILL ANNULAR SPACE OF ANY CONDUIT FEEDING ELECTRICAL, COMMUNICATIONS OR SIMILAR WITH PUTTY OR APPROVED SEALANT.

12/28/2025 10:05:25 AM DEC, BW



OFFICE: 29 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074  
 MAIL: PO BOX #776  
 SCARBOROUGH, MAINE 04070  
 PHONE: 207-883-6307  
 WWW.GTDARCHITECTS.COM

**GAWRON  
 TURGEON  
 DILLON**  
 ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
 Bangor, Maine

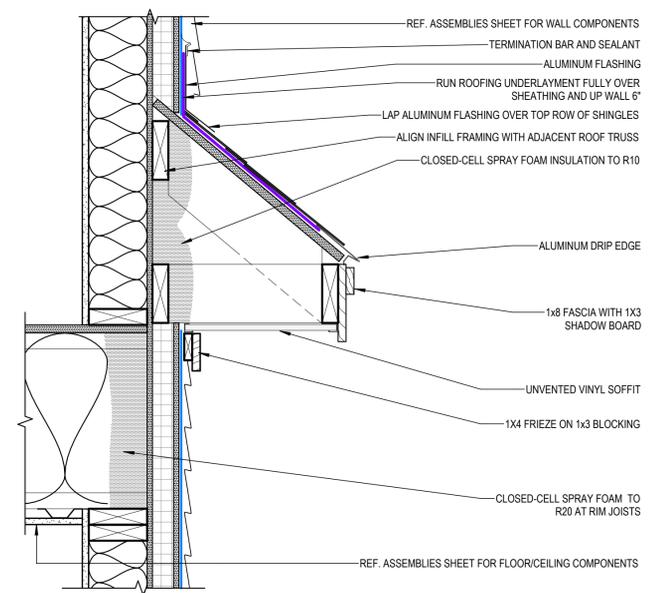
REVISIONS		
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	1 1/2" = 1'-0"

**SHEET TITLE**  
 DETAILS

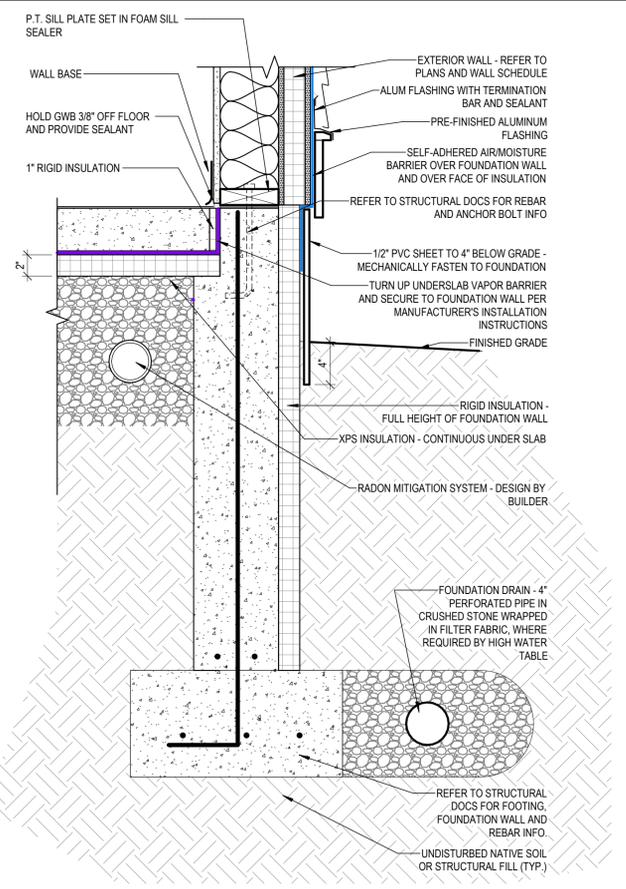
**A601**

© COPYRIGHT 1985-2025  
 REPRODUCTION OR RESALE OF THIS  
 DOCUMENT WITHOUT WRITTEN  
 PERMISSION OF GAWRON  
 ASSOCIATES P.C. IS PROHIBITED.



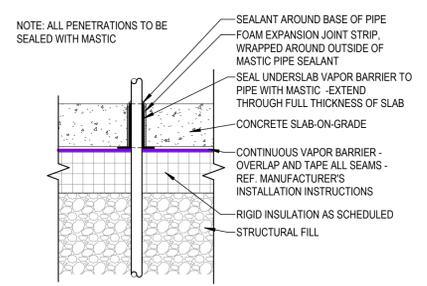
**J11 RIM JOIST AT EAVE BAND**

1 1/2" = 1'-0"



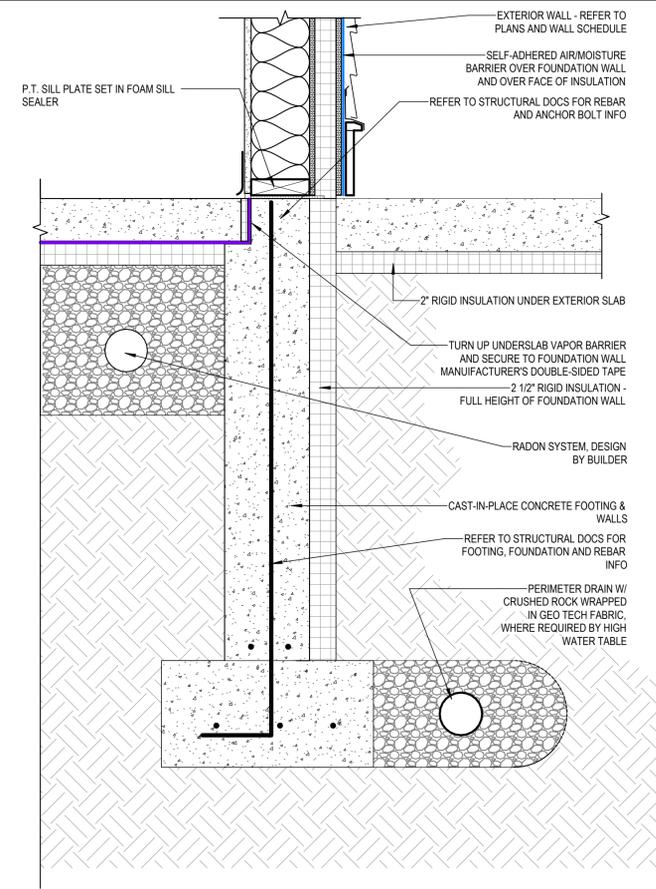
**A6 TYP FOUNDATION DTL**

1 1/2" = 1'-0"



**E11 UNDERSLAB PIPE PENETRATION**

1 1/2" = 1'-0"



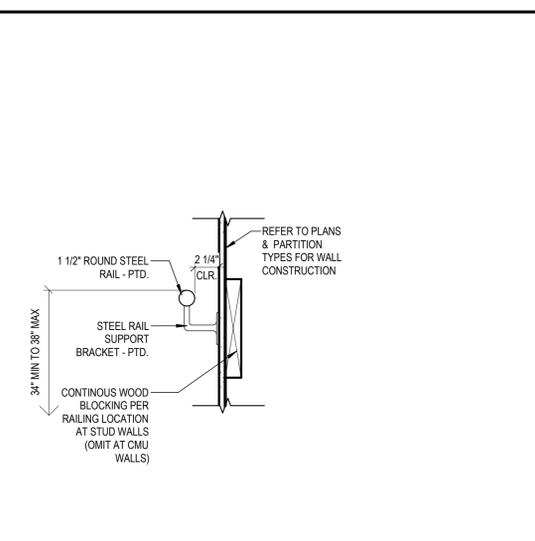
**A16 FOUNDATION DTL AT EXT SLAB**

1 1/2" = 1'-0"

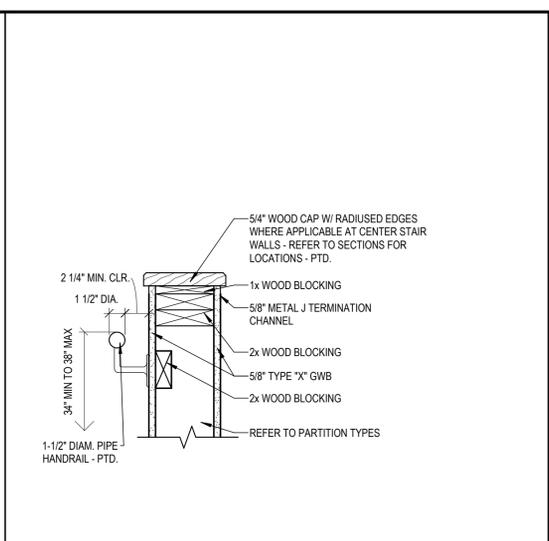
1 2/8/2025 10:47:28 ARJC.BW

R  
Q  
P  
O  
N  
M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A

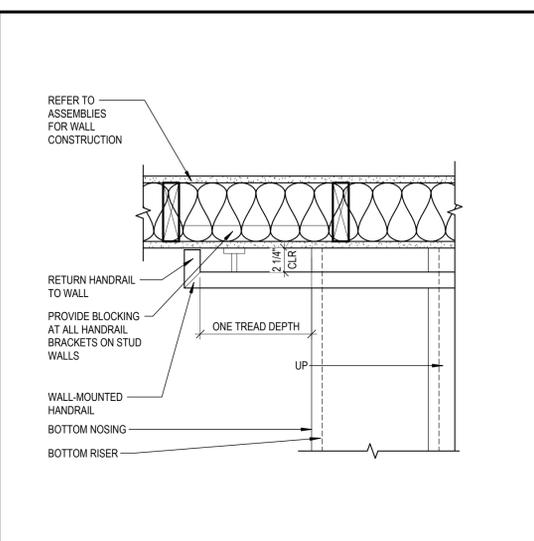
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20



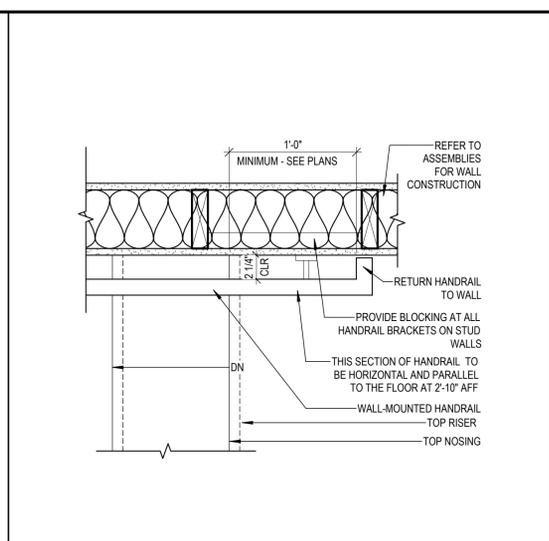
**M5 HANDRAIL SECTION**  
1 1/2" = 1'-0"



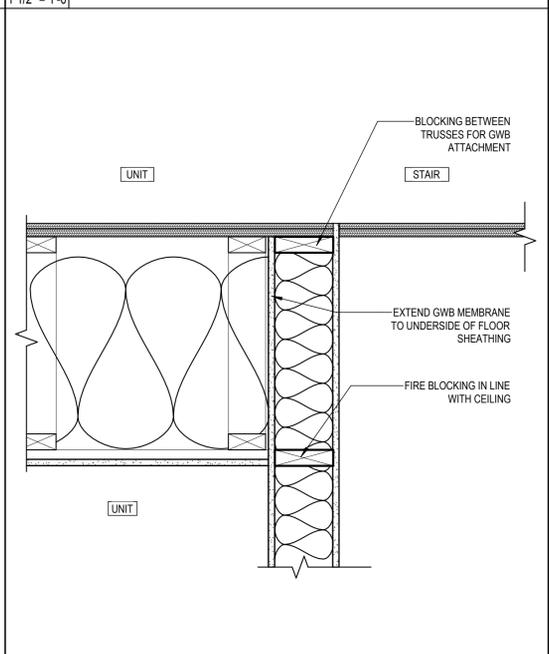
**M9 STAIR HANDRAIL AT HALF WALL**  
1 1/2" = 1'-0"



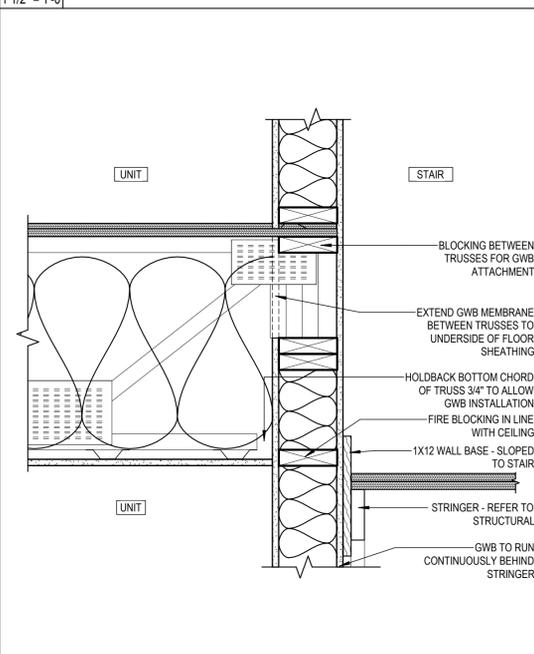
**M17 HANDRAIL BOT. EXTENSION**  
1 1/2" = 1'-0"



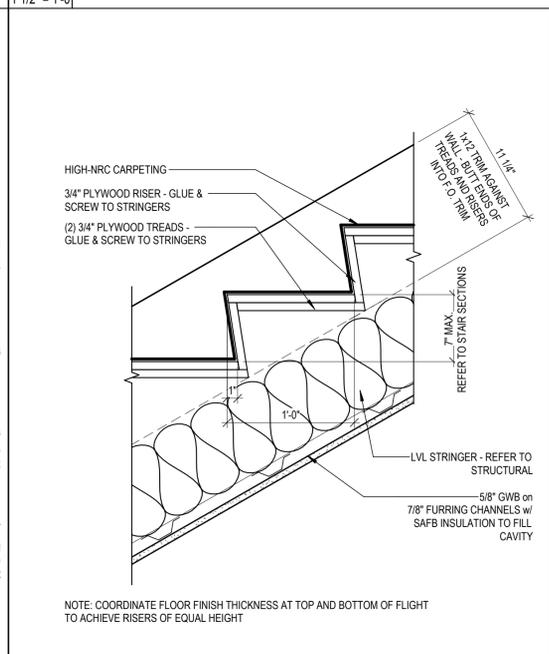
**M13 HANDRAIL - TOP EXTENSION**  
1 1/2" = 1'-0"



**F9 STAIR SHAFT PAR'L TO FRMG**  
1 1/2" = 1'-0"



**F13 STAIR SHAFT PERP TO FRMG**  
1 1/2" = 1'-0"



**F17 TYP STAIR DETAIL**  
1 1/2" = 1'-0"



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON**  
ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
Bangor, Maine

REVISIONS		
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	1 1/2" = 1'-0"

**SHEET TITLE**  
VERTICAL  
CIRCULATION

**A701**

© COPYRIGHT 1985-2025  
REPRODUCTION OR REUSE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.

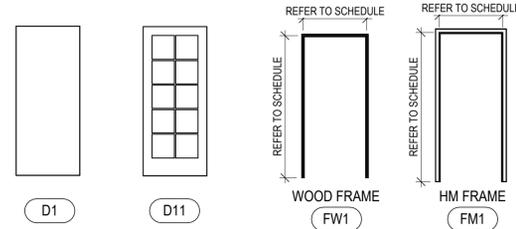
# DOOR SCHEDULE

DOOR SCHEDULE ABBREVIATIONS					
ALUM	ALUMINUM	IHM	INSULATED HOLLOW METAL	PP	PUSH PAD
ANO	ANODIZED	INS	INSULATED	S	STAIN
EHO	ELECTRIC HOLD OPENER	KP	KEY PAD	SCW	SOLID CORE WOOD
FA	FACTORY FINISH	MTL	METAL	TEMP	TEMPERED
FBGL	FIBERGLASS	NO	NUMBER	THK	THICKNESS
HCW	HOLLOW CORE WOOD	PTD	PAINTED	WD	WOOD (SOLID)
HM	HOLLOW METAL	PKT	POCKET	WG	WIRE GLASS

NO	TYPE	DOOR					REMARKS	DOOR HARDWARE	FRAME				SILL CONDITIONS			RATING		
		WIDTH	HGT.	THK.	MAT.	FINISH			TYPE	MAT.	DETAILS		FINISH	REMARKS	DETAILS			
											HEAD	JAMB			MAT.		SILL	HEIGHT
T.O. 1ST FLOOR																		
DEX1	D11	3'-0"	7'-0"	0'-1 3/4"			EXT - STAIR HALL, INSULATED	FW1	WD	H1	E1	PTD		INS	ALUM	A1	1/2"	
DEX2	D1	3'-0"	6'-8"	0'-1 3/8"			EXT - MECH. INSULATED	FW1	WD	H1	E1	PTD		INS	ALUM	A1	1/2"	
U1-1	D1	3'-0"	7'-0"	0'-1 3/4"			UNIT ENTRY	FM1	HM	M13	H13	PTD						20 MIN
U1-2	D1	4'-0"	6'-8"	0'-1 3/8"			PAIR	FW1	WD	H5	E5	PTD						
U1-3	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U1-4	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U1-5	D1	4'-0"	6'-8"	0'-1 3/8"			PAIR	FW1	WD	H5	E5	PTD						
U1-6	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U1-7	D1	2'-6"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U1-8	D1	3'-0"	6'-8"	0'-1 3/8"				FW1	WD	H5	E5	PTD						
U1-9	D1	4'-0"	6'-8"	0'-1 3/8"			PAIR	FW1	WD	H5	E5	PTD						
U2-1	D1	3'-0"	7'-0"	0'-1 3/4"			UNIT ENTRY	FM1	HM	M13	H13	PTD						20 MIN
U2-2	D1	4'-0"	6'-8"	0'-1 3/8"			PAIR	FW1	WD	H5	E5	PTD						
U2-3	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U2-4	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U2-5	D1	4'-0"	6'-8"	0'-1 3/8"			PAIR	FW1	WD	H5	E5	PTD						
U2-6	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U2-7	D1	2'-6"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U2-8	D1	3'-0"	6'-8"	0'-1 3/8"				FW1	WD	H5	E5	PTD						
U2-9	D1	4'-0"	6'-8"	0'-1 3/8"			PAIR	FW1	WD	H5	E5	PTD						
T.O. 2ND FLOOR																		
U3-1	D1	3'-0"	7'-0"	0'-1 3/4"			UNIT ENTRY	FM1	HM	M13	H13	PTD						20 MIN
U3-2	D1	4'-0"	6'-8"	0'-1 3/8"			PAIR	FW1	WD	H5	E5	PTD						
U3-3	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U3-4	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U3-5	D1	4'-0"	6'-8"	0'-1 3/8"			PAIR	FW1	WD	H5	E5	PTD						
U3-6	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U3-7	D1	2'-6"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U3-8	D1	3'-0"	6'-8"	0'-1 3/8"				FW1	WD	H5	E5	PTD						
U3-9	D1	2'-6"	6'-8"	0'-1 3/4"			PAIR	FM1	HM	H5	E5	PTD						
U4-1	D1	3'-0"	7'-0"	0'-1 3/4"			UNIT ENTRY	FM1	HM	M13	H13	PTD						20 MIN
U4-2	D1	4'-0"	6'-8"	0'-1 3/8"			PAIR	FW1	WD	H5	E5	PTD						
U4-3	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U4-4	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U4-5	D1	4'-0"	6'-8"	0'-1 3/8"			PAIR	FW1	WD	H5	E5	PTD						
U4-6	D1	3'-0"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U4-7	D1	2'-6"	6'-8"	0'-1 3/4"				FM1	HM	H5	E5	PTD						
U4-8	D1	3'-0"	6'-8"	0'-1 3/8"				FW1	WD	H5	E5	PTD						
U4-9	D1	2'-6"	6'-8"	0'-1 3/4"			PAIR	FM1	HM	H5	E5	PTD						

## O12 DOOR & FRAME TYPES

- GENERAL DOOR NOTES:**
- GC TO COORDINATE ALL HARDWARE AND LOCKING FUNCTIONS WITH OWNER
  - GLAZING IN RATED DOORS SHALL BE RATED PER CODE
  - PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE
  - REFER TO A802 FOR ALL DOOR DETAILS
  - GLAZING IN EXT DOORS TO BE INSULATED
  - REFERENCE ENERGY CODE REQUIREMENTS FOR DOOR INSULATION AND GLAZING
  - DOOR STYLES, MATERIALS, FINISHES, TRIM, AND HARDWARE TO BE SELECTED BY OWNER



## J1 DOOR SCHEDULE

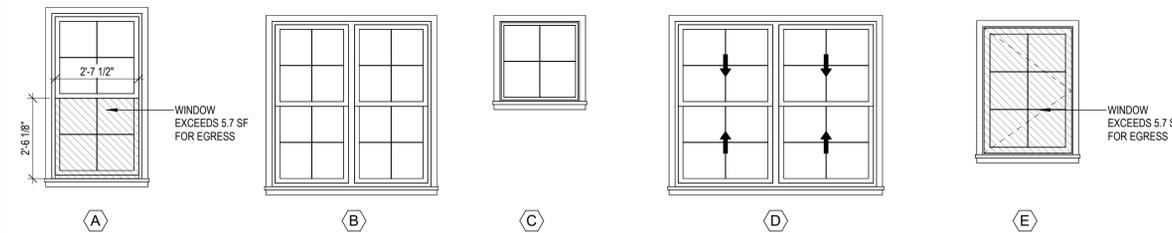
# WINDOW SCHEDULE

WINDOW SCHEDULE ABBREVIATIONS					
ALUM	ALUMINUM	MTL	METAL	TEMP	TEMPERED
ANO	ANODIZED	NO	NUMBER	THK	THICKNESS
FA	FACTORY FINISH	PTD	PAINTED	VNL	VINYL
HM	HOLLOW METAL	S	STAIN	WD	WOOD (SOLID)
INS	INSULATED	SS	SOLID SURFACE		

TYPE MARK	UNIT DIM.		TYPE	MANF.	MODEL	MAT.	FINISH	GLAZING		HEAD HGT.	COMMENTS
	Width	Height						THICKNESS	TYPE		
A	2'-10"	5'-2"	Window-Double-Hung							7'-2"	
B	5'-0"	5'-2"	Window-Double-Hung-Double							7'-2"	
C	2'-6"	2'-6"	Window-Fixed							7'-2"	
D	6'-4"	5'-2"	Window-Double-Hung-Double							7'-2"	
E	2'-10"	3'-8"	Window-Casement-1							<varies>	

- WINDOW NOTES:**
- PROVIDE TEMPERED GLAZING IN WINDOWS WHERE REQUIRED BY CODE.
  - PROVIDE RATED GLAZING WHERE REQUIRED BY CODE.
  - PROVIDE EXTENSION JAMBS WHERE REQUIRED.
  - ENSURE THAT AT LEAST 1 WINDOW IN EACH SLEEPING ROOM MEETS EGRESS REQUIREMENTS.
  - ALL WINDOWS TO BE EQUIPPED WITH ASTM F2090-COMPLIANT WINDOW OPENING CONTROL DEVICE
  - GLAZING TO BE INSULATED WHERE AT EXTERIOR WALL
  - WINDOW MATERIALS, FINISHES, AND TRIM TO BE SELECTED BY OWNER.

IECC TABLE R402.1.3 REQUIREMENTS (ZONE 6):  
FENESTRATION: .30 MAX U-FACTOR



## A1 WINDOW SCHEDULE & TYPES



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON  
ARCHITECTS P.C.**

BANGOR PROTOTYPICAL HOUSING

4-UNIT TYPE 1  
Bangor, Maine

### REVISIONS

#	DATE	DESCRIPTION

DATE: 12-05-2025  
PROJECT #: 010624.05  
DRAWN BY: DEC, BW  
CHECKED BY: DEC  
DRAWING SCALE: As indicated

SHEET TITLE  
DOOR & WINDOW  
SCHEDULE & TYPES

**A801**

© COPYRIGHT 1985-2025  
REPRODUCTION OR RESALE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON**  
ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
Bangor, Maine

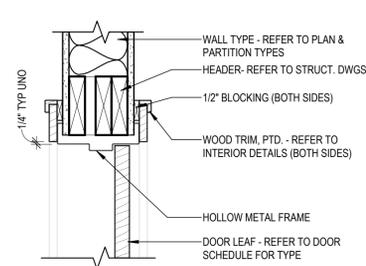
REVISIONS		
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	As indicated

**SHEET TITLE**  
**DOOR & WINDOW DETAILS**

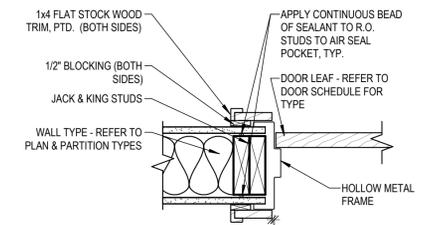
**A802**

© COPYRIGHT 1985-2025  
REPRODUCTION OR RESALE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.



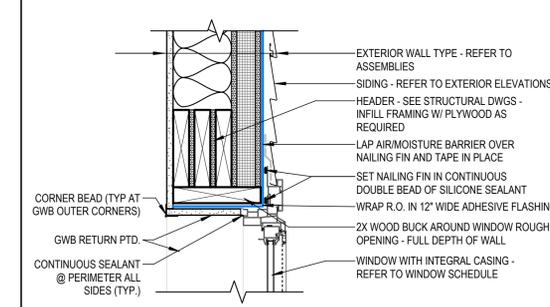
**M13 INT HM DOOR HDR**

1 1/2" = 1'-0"



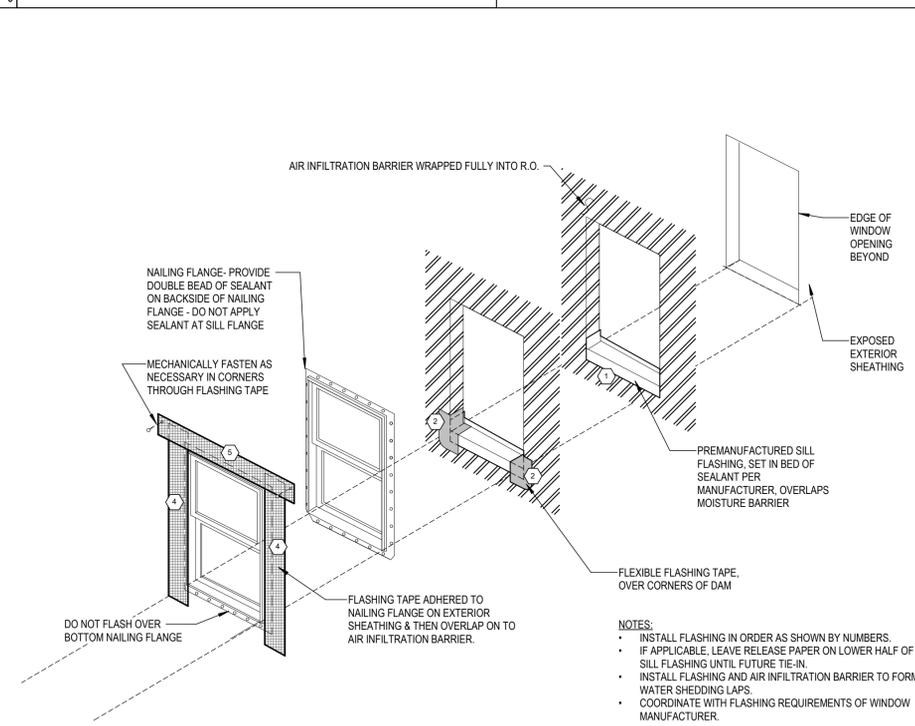
**H13 INT HM DOOR JAMB**

1 1/2" = 1'-0"



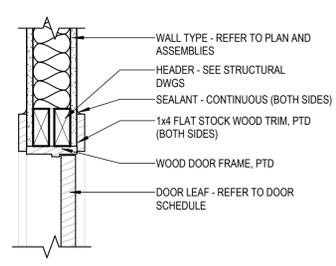
**H9 TYP WDW HEAD DTL**

1 1/2" = 1'-0"



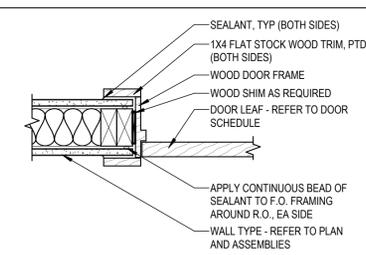
**A13 TYP EXT WINDOW FLASHING DTL**

3/8" = 1'-0"



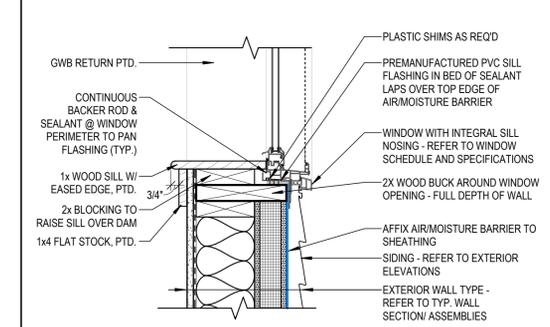
**H5 INT WD DOOR HEAD**

1 1/2" = 1'-0"



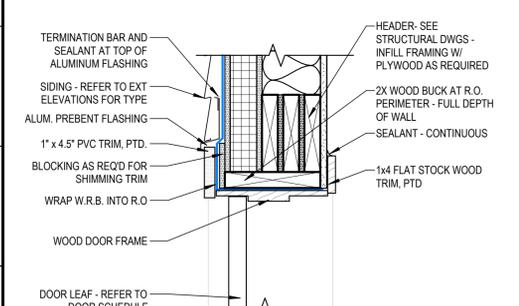
**E5 INT WD DOOR JAMB**

1 1/2" = 1'-0"



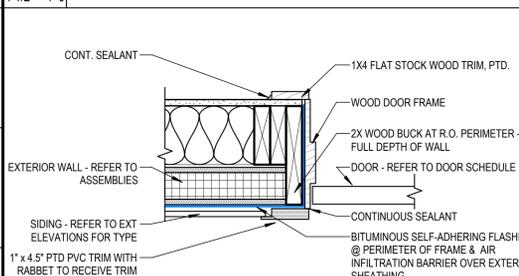
**A9 TYP WDW SILL DTL**

1 1/2" = 1'-0"



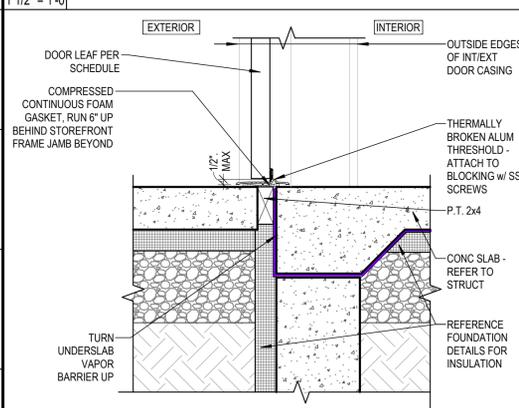
**H1 TYP EXT DOOR HDR**

1 1/2" = 1'-0"



**E1 TYP EXT DOOR JAMB**

1 1/2" = 1'-0"



**A1 TYP EXT DOOR SILL**

1 1/2" = 1'-0"

12/8/2025 10:47:36 AM DEC, BW



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON**  
ARCHITECTS P.C.

**BANGOR PROTOTYPICAL HOUSING**  
**4-UNIT TYPE 1**  
Bangor, Maine

**REVISIONS**

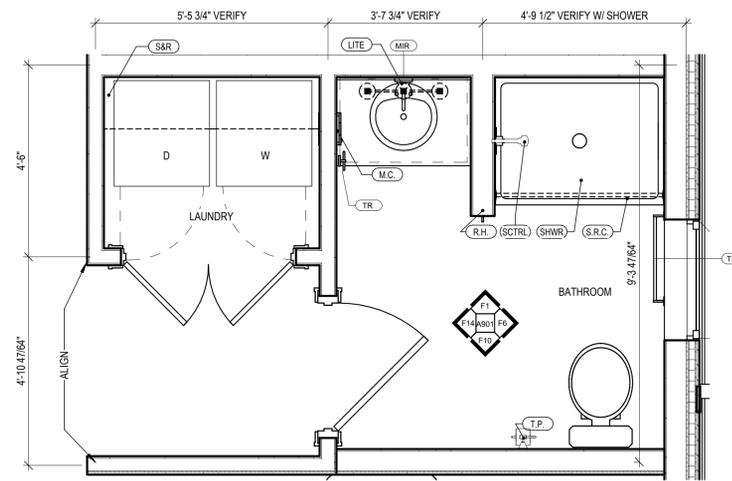
#	DATE	DESCRIPTION

DATE:	12-05-2025
PROJECT #	010624.05
DRAWN BY:	DEC, BW
CHECKED BY:	DEC
DRAWING SCALE	As indicated

**SHEET TITLE**  
**KITCHEN & BATHROOM DRAWINGS**

**A901**

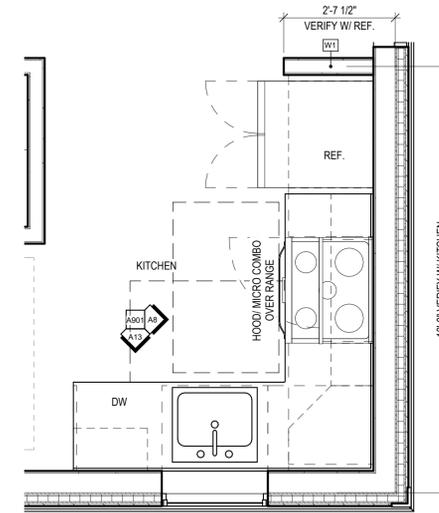
© COPYRIGHT 1985-2025  
REPRODUCTION OR RESALE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.



NOTE: LAYOUT MAY BE MIRRORED - REFER TO FLOOR PLANS

**L9 TYP BATH ENLARGED PLAN**

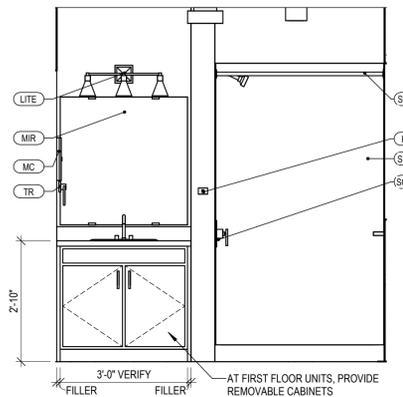
1/2" = 1'-0"



NOTE: LAYOUT MAY BE MIRRORED - REFER TO FLOOR PLANS

**L15 TYP KITCHEN ENLARGED PLAN**

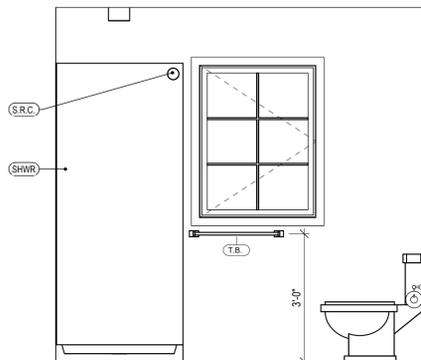
1/2" = 1'-0"



NOTE: LAYOUT MAY BE MIRRORED - REFER TO FLOOR PLANS

**F1 TYP BATH - SINK WALL**

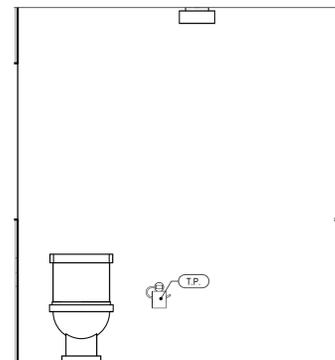
1/2" = 1'-0"



NOTE: LAYOUT MAY BE MIRRORED - REFER TO FLOOR PLANS

**F6 BATH - TOILET WET WALL**

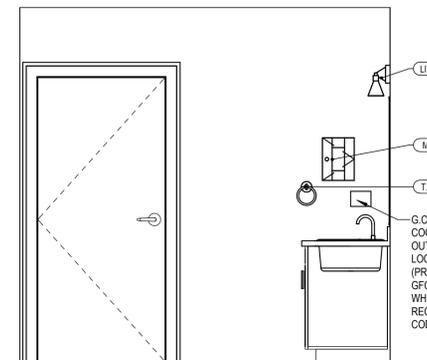
1/2" = 1'-0"



NOTE: LAYOUT MAY BE MIRRORED - REFER TO FLOOR PLANS

**F10 BATH - TOILET SIDE WALL**

1/2" = 1'-0"



NOTE: LAYOUT MAY BE MIRRORED - REFER TO FLOOR PLANS

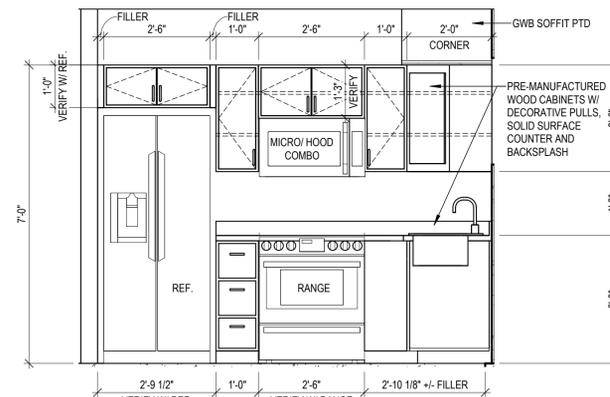
**F14 BATH - DOOR WALL**

1/2" = 1'-0"

**UNIT ACCESSORY LEGEND**

- (R.H.) ROBE HOOK - PROVIDE BLOCKING
- (T.R.) TOWEL RING - PROVIDE BLOCKING
- (MIR) 36" W X 36" H BEVELED EDGE WALL MIRROR - CENTER OVER SINK
- (S.R.C.) SHOWER ROD AND CURTAIN WITH HOOKS (FACTORY INSTALLED) - PROVIDE BLOCKING
- (T.P.) TOILET PAPER HOLDER - PROVIDE BLOCKING
- (T.B.) 24" TOWEL BAR - PROVIDE BLOCKING
- (M.C.) 9"x12" RECESSED MEDICINE CABINET - NO MIRROR. PROVIDE GWB RATED SURROUND AS REQUIRED IF RECESSED IN RATED WALLS.
- (SHWR) 36" X 48" FIBERGLASS SHOWER UNIT W/ SOAP SHELF
- (LITE) DECORATIVE VANITY LIGHT - CENTER OVER SINK
- (S&R) CLOSET SHELF & ROD
- (SHLV) (5) 18" DEEP ADJUSTABLE SHELVES

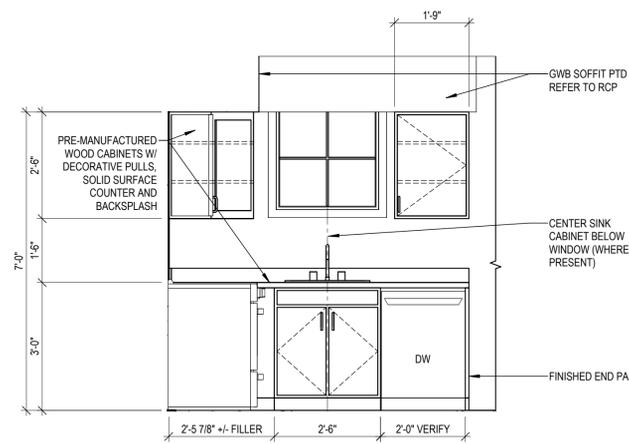
- UNIT NOTES:**
- G.C. TO COORDINATE RECESSED MEDICINE CABINETS DURING CONSTRUCTION TO AVOID FRAMING / ELECTRICAL CONFLICTS
  - INSTALL BLOCKING BEHIND ALL SURFACE MOUNTED ACCESSORIES, CABINETS, GRAB BARS, ETC.
  - COORDINATE ANY REQUIRED SLAB RECESSES WITH SHOWER PAN
  - CONTINUE FLOORING UNDER VANITY AND BASE CABINETS - TYP. ALL RESIDENT UNITS
  - COORDINATE SHOWER WALLS & ADJACENT MILLWORK WITH SHOWER UNIT SELECTED
  - ALL CLOSETS TO HAVE MIN. CLEAR DEPTH OF 2'-0". PROVIDE SHELF & ROD AT 5'-3" A.F.F. TO TOP OF SHELF TYPICAL (U.N.O.). ALL FIRST FLOOR UNITS TO HAVE SHELF & ROD AT 4'-0" AFF TO TOP OF SHELF FOR ACCESSIBILITY. PROVIDE FINISHED END PANELS FOR ALL EXPOSED CABINETRY EDGES.



NOTE: LAYOUT MAY BE MIRRORED - REFER TO FLOOR PLANS

**A8 KITCHEN - REF/RANGE WALL**

1/2" = 1'-0"



NOTE: LAYOUT MAY BE MIRRORED - REFER TO FLOOR PLANS

**A13 KITCHEN - SINK WALL**

1/2" = 1'-0"

12/28/2025 10:05:56 AM DEC, BW

GENERAL NOTES:

- 1. IF DEVIATIONS OR CHANGES FROM THE APPROVED DESIGN AND "RELEASED FOR PRODUCTION" SHOP DRAWINGS ARE REQUIRED DUE TO INTERFERENCES, FABRICATION ERRORS, OR OTHER CAUSES, THE ENGINEER SHALL BE NOTIFIED...

FOUNDATION RELATED EARTHWORK

- GENERAL: THESE NOTES COVER EXCAVATING, BACKFILLING, AND COMPACTING WITHIN BUILDING FOOTPRINT AND TO FIVE FEET AROUND BUILDING PERIMETER.

- EXCAVATION: 1. EXCAVATE SUBSOIL REQUIRED FOR BUILDING FOUNDATIONS. HAND TRIM EXCAVATIONS. REMOVE LOOSE MATERIAL.

- BACKFILL AND COMPACTION: 1. USE UNFROZEN AND UNSATURATED MATERIALS. 2. BACKFILL SYSTEMATICALLY, AS EARLY AS POSSIBLE, TO ALLOW MAXIMUM TIME FOR NATURAL SETTLEMENT.

Table with 2 columns: MATERIALS, SIEVE DESIGNATION, and %PASSING BY WEIGHT. Includes rows for structural fill and fine granular fill.

Table with 2 columns: MATERIALS, SIEVE DESIGNATION, and %PASSING BY WEIGHT. Includes rows for fine granular fill and suitable native soil.

- BACKFILL REQUIREMENTS: A. FILL WITHIN BUILDING ENVELOPE: 1. MATERIAL: STRUCTURAL FILL

- ERECTOR TOLERANCES: 1. INSTALL REINFORCEMENT WITHIN TOLERANCES REQUIRED BY ACI 318.

- RELATED ITEMS: 1. FORM RELEASE AGENT: COLORLESS MINERAL OIL NOT CAPABLE OF STAINING CONCRETE OR IMPAIRING NATURAL BONDING CHARACTERISTICS OF COATING INTENDED FOR USE ON CONCRETE.

CAST-IN-PLACE CONCRETE

- GENERAL CODES AND STANDARDS, COMPLY WITH: A. ACI 318-19 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"

- CONCRETE REINFORCING: 1. REINFORCEMENT: ASTM A615/A615M, 60 KSI YIELD STRENGTH, DEFORMED STEEL BARS.

- CONCRETE MATERIALS: 1. CEMENT: ASTM C150, NORMAL-TYPE I PORTLAND TYPE.

- INSERTS, EMBEDDED COMPONENTS, AND OPENINGS: 1. PROVIDE FORMED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDDED IN AND PASSING THROUGH CONCRETE MEMBERS.

- EXECUTION: 1. CONCRETE FORMS SHALL BE CLEAN AND FREE FROM DEBRIS.

- WOOD FINISHING: 1. FINISH CONCRETE FLOOR SURFACES IN ACCORDANCE WITH ACI 301 AND ACI 302.1.

- WOOD TREATMENT: 1. WOOD PRESERVATIVE (PRESSURE TREATMENT): AWPA U1

- EXECUTION: 1. ALL FASTENING SHALL COMPLY WITH THE NATIONAL FOREST AND PAPER ASSOCIATION NATIONAL DESIGN SPECIFICATION OR THE "RECOMMENDED FASTENING SCHEDULE" IN THE 2021 INTERNATIONAL RESIDENTIAL CODE.

- WOOD FRAMING: 1. UNLESS OTHERWISE SPECIFIED, EACH PIECE OF LUMBER SHALL BEAR THE GRADE MARK, STAMP, OR OTHER IDENTIFYING MARKS INDICATING GRADES OF MATERIALS.

- LUMBER MATERIALS: 1. NOMINAL SIZES ARE INDICATED EXCEPT AS INDICATED BY DETAILED DIMENSIONS.

- ACCESSORIES: 1. FASTENERS: GALVANIZED STEEL FOR EXTERIOR, HIGH HUMIDITY, AND TREATED WOOD LOCATIONS.

- METAL PLATE CONNECTED WOOD TRUSSES: GENERAL: 1. DESIGN TRUSSES TO LOADINGS AND CONFIGURATIONS AS SHOWN ON CONTRACT DRAWINGS WITH TOTAL LOAD DEFLECTION LIMITED TO 1/240 OF THE SPAN.

- ACCESSORIES: 1. WOOD BLOCKING, SUPPORT MEMBERS, FRAMING FOR OPENINGS: SPECIES AND GRADE SHALL MEET THE REQUIREMENTS OF SPRUCE-PINE-FIR NO. 1/NO. 2 OR BETTER, 19 PERCENT MAXIMUM AND 7 PERCENT MINIMUM MOISTURE CONTENT.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

WOOD FRAMING

- 1. UNLESS OTHERWISE SPECIFIED, EACH PIECE OF LUMBER SHALL BEAR THE GRADE MARK, STAMP, OR OTHER IDENTIFYING MARKS INDICATING GRADES OF MATERIALS.

- LUMBER MATERIALS: 1. NOMINAL SIZES ARE INDICATED EXCEPT AS INDICATED BY DETAILED DIMENSIONS.

- ACCESSORIES: 1. WOOD BLOCKING, SUPPORT MEMBERS, FRAMING FOR OPENINGS: SPECIES AND GRADE SHALL MEET THE REQUIREMENTS OF SPRUCE-PINE-FIR NO. 1/NO. 2 OR BETTER, 19 PERCENT MAXIMUM AND 7 PERCENT MINIMUM MOISTURE CONTENT.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

METAL PLATE CONNECTED WOOD TRUSSES

- GENERAL: 1. DESIGN TRUSSES TO LOADINGS AND CONFIGURATIONS AS SHOWN ON CONTRACT DRAWINGS WITH TOTAL LOAD DEFLECTION LIMITED TO 1/240 OF THE SPAN.

- ACCESSORIES: 1. WOOD BLOCKING, SUPPORT MEMBERS, FRAMING FOR OPENINGS: SPECIES AND GRADE SHALL MEET THE REQUIREMENTS OF SPRUCE-PINE-FIR NO. 1/NO. 2 OR BETTER, 19 PERCENT MAXIMUM AND 7 PERCENT MINIMUM MOISTURE CONTENT.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

- EXECUTION: 1. FABRICATE TRUSSES TO ACHIEVE STRUCTURAL REQUIREMENTS SPECIFIED.

- EXECUTION: 1. VERIFY SUPPORTS AND OPENINGS ARE READY TO RECEIVE TRUSSES.

BASIS OF DESIGN

Table with 2 columns: BUILDING CODE, DESIGN LOADS, FLOOR DEAD LOAD, FLOOR LIVE LOAD.

Table with 2 columns: SNOW LOADS, GROUND SNOW LOAD, SNOW LOAD EXPOSURE FACTOR, SNOW LOAD IMPORTANCE FACTOR.

Table with 2 columns: WIND LOADS, BASIC WIND SPEED, OCCUPANCY CATEGORY, WIND LOAD IMPORTANCE FACTOR.

Table with 2 columns: EARTHQUAKE DESIGN DATA, OCCUPANCY CATEGORY, SEISMIC IMPORTANCE FACTOR, MAPPED SPECTRAL RESPONSE.

Table with 2 columns: DESIGN BASE SHEAR, SEISMIC RESPONSE COEFFICIENT, RESPONSE MODIFICATION FACTOR.

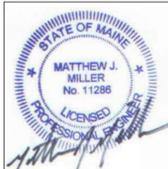
Table with 2 columns: MISCELLANEOUS, ALLOWABLE SOIL BEARING CAPACITY.

ABBREVIATIONS

Table with 2 columns: A.R., AFF., AL., ARCH., B.O., BRG., CL., C.J., CMU., CONT., DIA., DWG., E.F., E.S., E.W., ELEV., EMBED., EQ., EX., #, FS., FTG., GALV., LLH., LLV., LVL., MAX., MIN., NS., NTS., oc., P#, PSI., P.T., REINF., SIM., STD., T/ CONC., T/ PIER., T/ SLAB., T/ STL., TWE., TYP., U.N.O., V.I.F., W.P., LONG LEG VERTICAL, LAMINATED VENEER LUMBER, MAXIMUM, MINIMUM, NEAR SIDE, NOT TO SCALE, ON CENTER, PIER MARK, PLATE, POUNDS PER SQUARE FOOT, POUNDS PER SQUARE INCH, PRESSURE TREATED, REINFORCED / REINFORCEMENT, SIMILAR, STANDARD, TOP OF CONCRETE, TOP OF PIER, TOP OF SLAB, TOP OF STEEL, TOP OF WALL ELEVATION, TYPICAL, UNLESS NOTED OTHERWISE, VERIFY IN FIELD, WORKING POINT.

STRUCTURAL DRAWING LIST

Table with 2 columns: SHEET NUMBER, SHEET NAME. Lists sheets S001 through S401.



OFFICE: 29 BLACK POINT ROAD SCARBOROUGH, MAINE 04074 MAIL: PO BOX #776 SCARBOROUGH, MAINE 04070 PHONE: 207-883-6307 WWW.GTDARCHITECTS.COM

GAWRON TURGEON DILLON ARCHITECTS P.C.



BANGOR PROTOYPICAL 4 UNIT - TYPE 1 Bangor, Maine

REVISIONS

Table with 3 columns: #, DATE, DESCRIPTION.

DATE: 11/25/2025

PROJECT #: 25021

DRAWN BY: MPM

CHECKED BY: MPM

DRAWING SCALE: 1/8" = 1'-0"

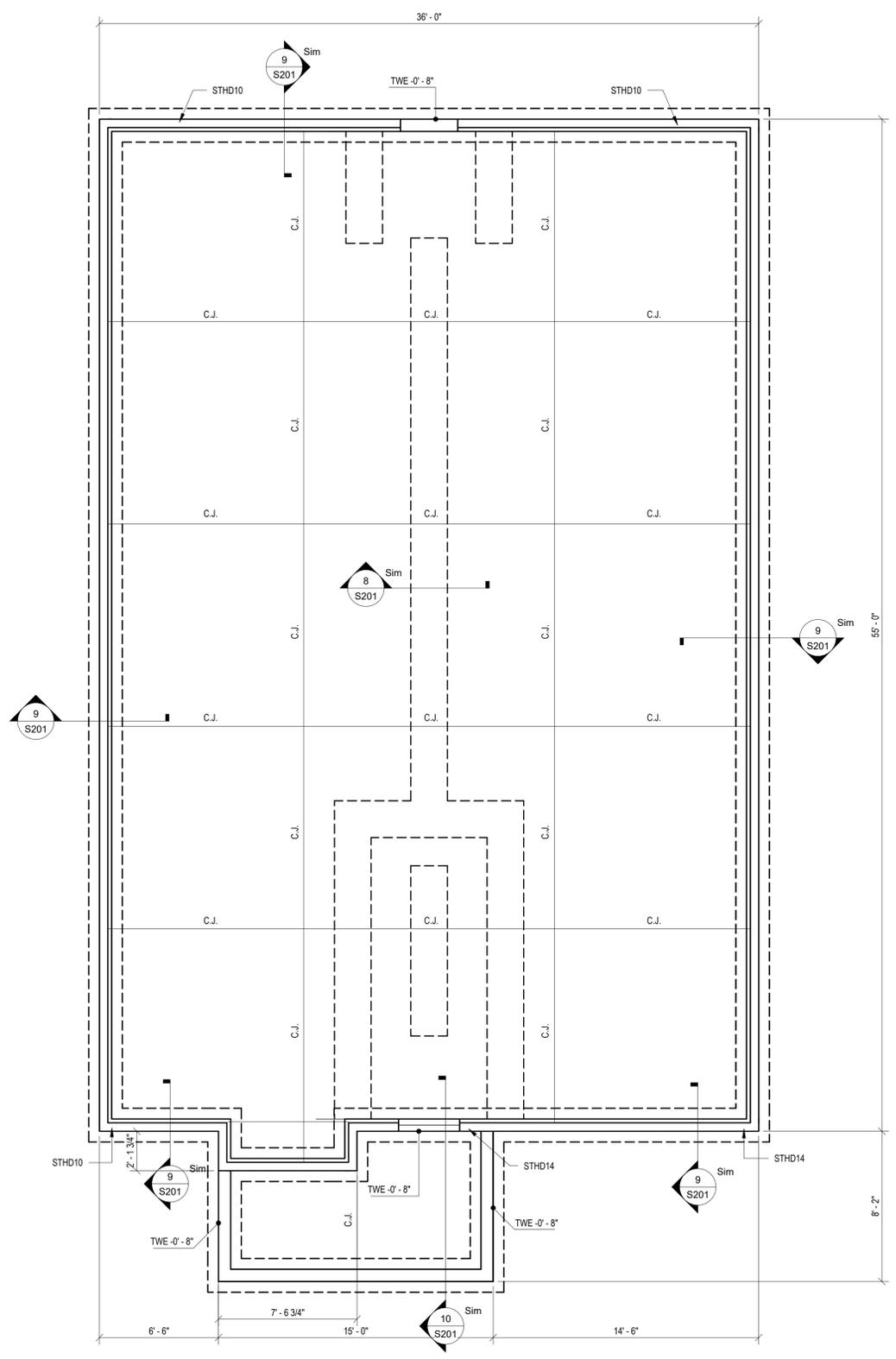
SHEET TITLE

GENERAL NOTES

S001

© COPYRIGHT 1985-2025 REPRODUCTION OR RELEASE OF THIS DOCUMENT WITHOUT WRITTEN ASSOCIATES P.C. IS PROHIBITED.

R  
Q  
P  
O  
N  
M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A



**FOUNDATION PLAN**  
1/4" = 1'-0"

**PLAN NOTES:**

1. TOP OF SLAB REFERENCE ELEV. = 0'-0"
2. TOP OF FOOTING ELEVATION = -4'-6". FOOTINGS SHALL BEAR A MINIMUM OF 5'-0" BELOW GRADE FOR FROST PROTECTION.
3. STEP FOOTINGS BELOW PIPING AND CONDUIT AS REQUIRED TO PENETRATE THROUGH WALL NOT FOOTING.
4. TOP OF WALL ELEVATION = 0'-0" TYP. U.N.O.
5. TWE INDICATES TOP OF WALL ELEVATION
6. ALL FOOTINGS SHALL BE CENTERED ON THE CENTERLINE OF COLUMN, PIER OR WALL, U.N.O.
7. F.S. INDICATES FOOTING STEP. REFER TO DETAIL 1 / S201 FOR TYPICAL FOOTING STEP DETAIL.
8. REFER TO DETAIL 2 / S201 FOR TYPICAL WALL REINFORCING DETAIL AT CORNERS AND INTERSECTIONS
9. REFER TO DETAIL 3 / S201 FOR TYPICAL WALL CONTROL AND CONSTRUCTION JOINTS

**PLAN NOTES (CONTINUED):**

10. PROVIDE SLEEVES THROUGH WALLS FOR PIPING AND CONDUIT. COORDINATE SLEEVE SIZES, QUANTITIES AND LOCATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. SEE DETAIL 4 / S201 FOR TYPICAL WALL PENETRATION DETAIL.
11. REFER TO DETAIL 6 / S201 FOR TYPICAL SLAB ON GRADE CONSTRUCTION.
12. C.J. INDICATES SLAB CONTROL / CONSTRUCTION JOINT. REFER TO DETAIL 7 / S201.
13. REFER TO SECTION 5 / S201 FOR ADDITIONAL REINFORCING REQUIREMENTS AT DOOR DEPRESSIONS.
14. STHD10 INDICATES EMBEDDED STRAP HOLD DOWN. REFER TO DETAIL 11 / S201



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON**  
ARCHITECTS P.C.



**BANGOR PROTOYPICAL**  
4 UNIT - TYPE 1  
Bangor, Maine

**REVISIONS**

#	DATE	DESCRIPTION

DATE:	11/25/2025
PROJECT #	25021
DRAWN BY:	MJM
CHECKED BY:	MJM
DRAWING SCALE	As indicated

**SHEET TITLE**

FOUNDATION PLAN

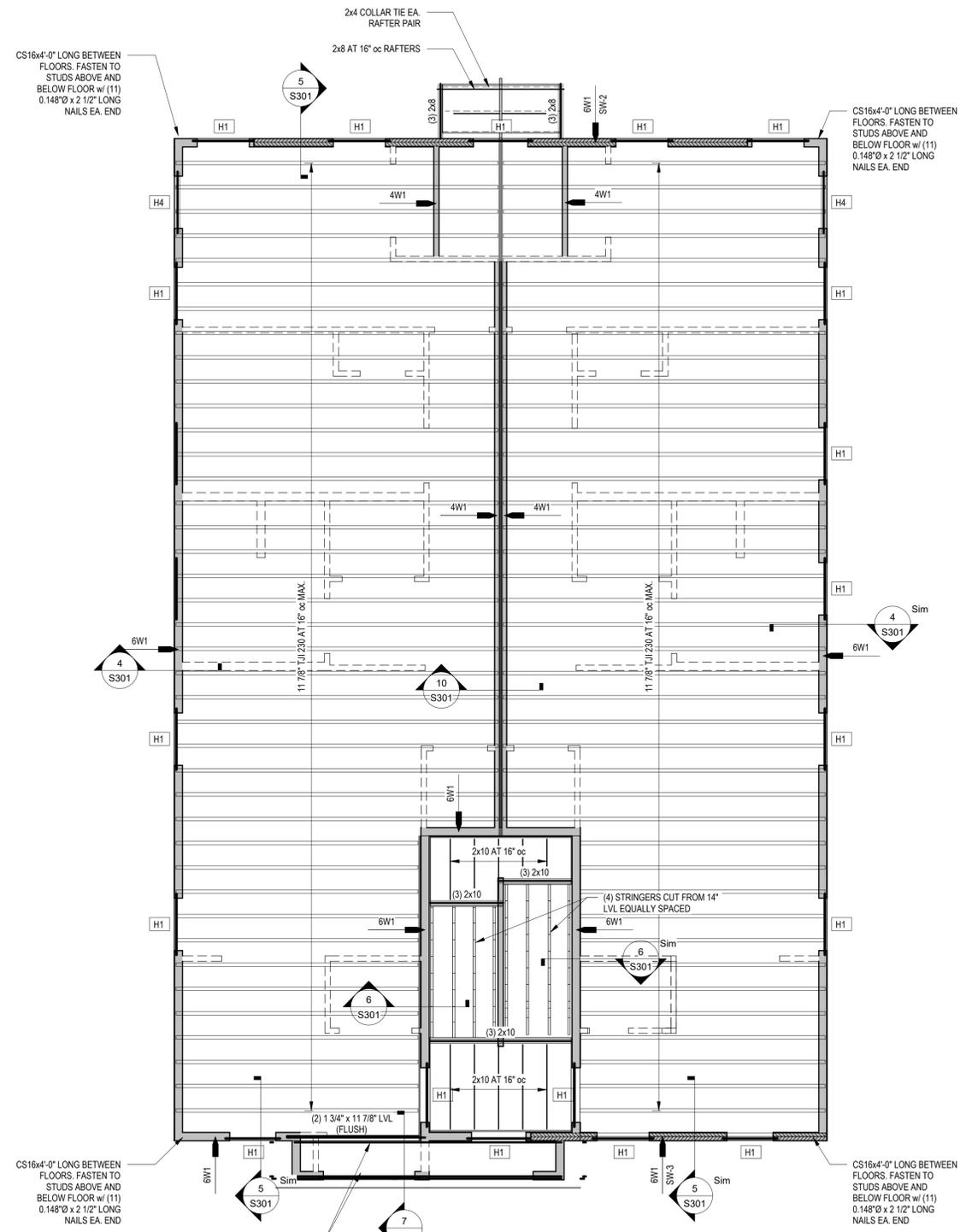
**S101**

© COPYRIGHT 1985-2025  
REPRODUCTION OR USE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.

12/5/2025 5:25:47 PM

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

R  
Q  
P  
O  
N  
M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A



**SECOND FLOOR FRAMING PLAN**

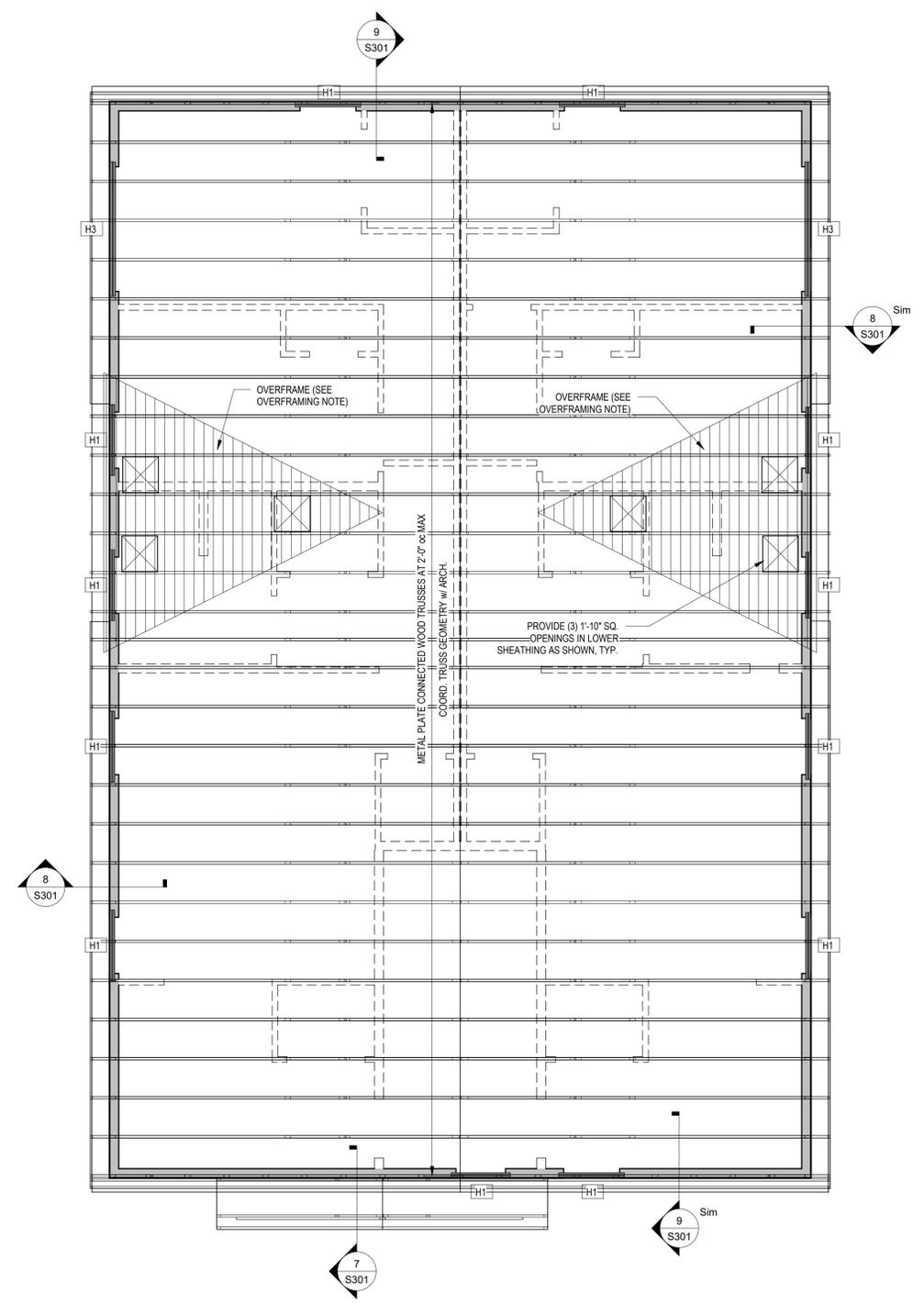
1/4" = 1'-0"

**PLAN NOTES:**

- COORDINATE TOP OF SUBFLOOR ELEVATION w/ ARCH.
- CONTRACTOR SHALL COORDINATE THE LOCATIONS OF THE FLOOR JOISTS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS AS REQUIRED FOR DUCT PENETRATIONS, PLUMBING ETC
- EXTERIOR WALLS SHALL BE 2x6 AT 16" OC TYP.
- SW-X INDICATES SHEAR WALL MARK. SEE SHEAR WALL SCHEDULE ON SHEET S401.
- EXTERIOR WALLS SHALL BE SW-1 TYP, U.N.O.

STUD WALL SCHEDULE			
PLAN MARK	STUD SIZE	STUD SPACING	PLATE MATERIAL (IF DIFFERENT)
4W1	<varies>	<varies>	
6W1	2x6	16"	

HEADER SCHEDULE			
PLAN MARK	HEADER SIZE	JACK STUDS (U.N.O.)	KING STUDS (U.N.O.)
H1	(2) 2x8	(2) 2x6	(2) 2x6
H2	(3) 2x8	(2) 2x6	(2) 2x6
H3	(2) 1 3/4" x 9 1/2" LVL	(3) 2x6	(2) 2x6
H4	(3) 2x10	(3) 2x6	(2) 2x6



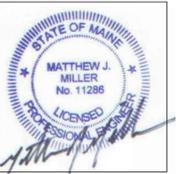
**ROOF FRAMING PLAN**

1/4" = 1'-0"

**PLAN NOTES:**

- COORDINATE TOP OF PLATE ELEVATIONS w/ ARCHITECTURAL DRAWINGS
- ROOF TRUSSES SHALL BE SPACED AT 2'-0" OC MAXIMUM.
- EXTERIOR WALLS SHALL BE 2x6 AT 16" OC MAX.
- EXTERIOR WALLS SHALL BE SW-1, TYP. SEE S401 FOR SHEATHING AND NAILING REQUIREMENTS.

**ROOF OVERFRAMING NOTE**  
 HATCHED AREAS INDICATE AREAS TO BE OVERFRAMED WITH CONTINUOUS BOTTOM CHORD BEARING WOOD TRUSSES. TRUSSES SHALL FRAME PERPENDICULAR TO BASE TRUSSES. FASTEN AT EACH INTERSECTION WITH SIMPSON VTR TRUSS CLIP



OFFICE: 29 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074  
 MAIL: PO BOX #776  
 SCARBOROUGH, MAINE 04070  
 PHONE: 207-883-6307  
 WWW.GTDARCHITECTS.COM

**GAWRON  
 TURGEON  
 DILLON  
 ARCHITECTS P.C.**

**M<sup>2</sup> STRUCTURAL  
 ENGINEERING, P.C.**  
 23 Thornbury Way  
 Weymouth, ME 04092  
 (207) 852-0963  
 www.m2se.com

**BANGOR PROTOPTICAL  
 4 UNIT - TYPE 1**  
 Bangor, Maine

REVISIONS		
#	DATE	DESCRIPTION

DATE:	11/25/2025
PROJECT #	25021
DRAWN BY:	MJM
CHECKED BY:	MJM
DRAWING SCALE	As indicated

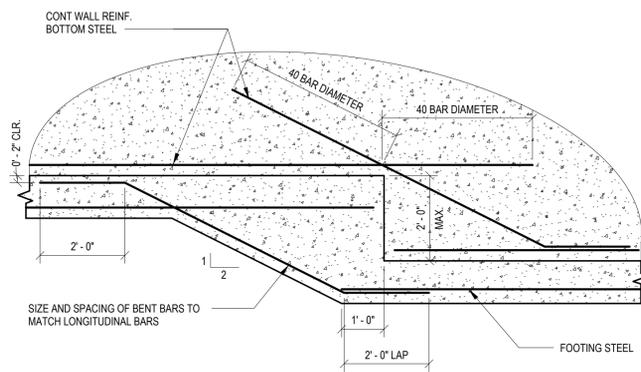
**SHEET TITLE**  
 SECOND FLOOR  
 AND ROOF  
 FRAMING PLANS

**S102**

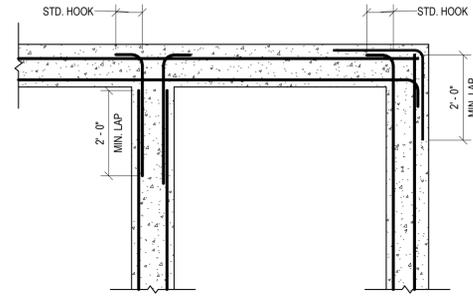
© COPYRIGHT 1985-2025  
 REPRODUCTION OR USE OF THIS  
 DOCUMENT WITHOUT WRITTEN  
 PERMISSION OF GAWRON  
 ASSOCIATES P.C. IS PROHIBITED.

12/5/2025 5:25:51 PM

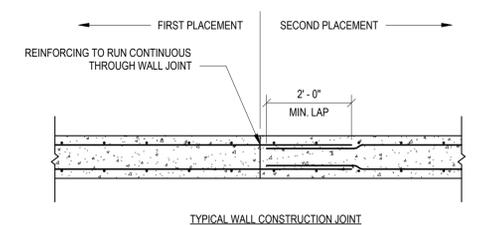
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20



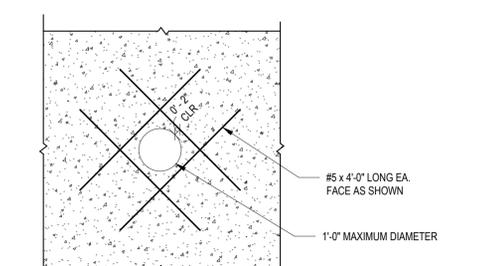
1 TYPICAL FOUNDATION STEP DETAIL  
1/2" = 1'-0"



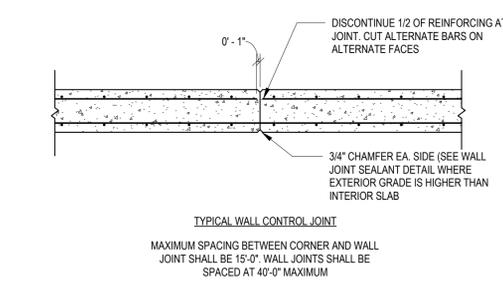
2 TYPICAL REINFORCING DETAIL AT CORNERS AND INTERSECTIONS  
1/2" = 1'-0"



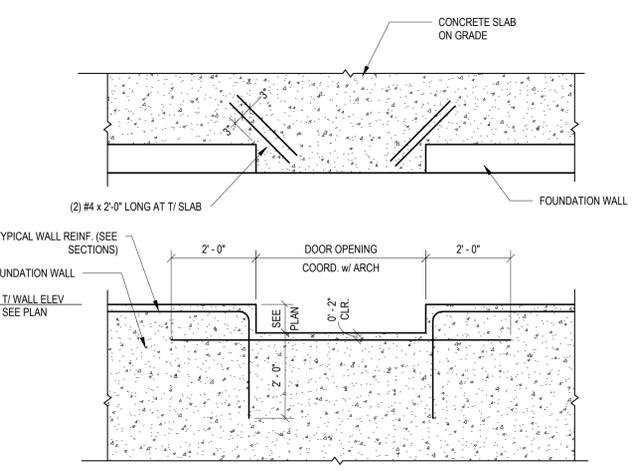
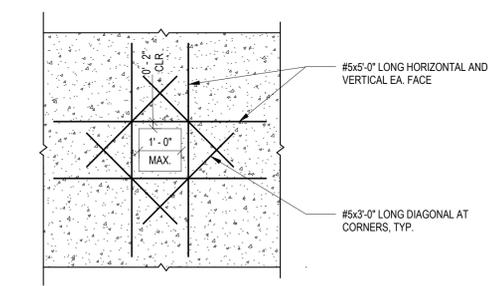
3 TYPICAL WALL CONSTRUCTION/CONTROL JOINT  
1/2" = 1'-0"



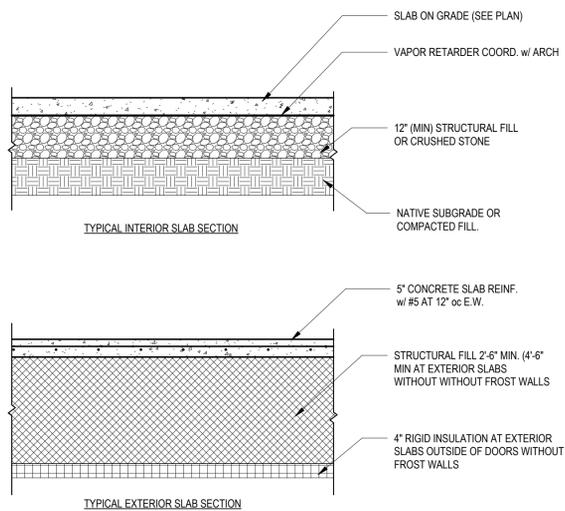
4 TYPICAL WALL PENETRATION DETAIL  
1/2" = 1'-0"



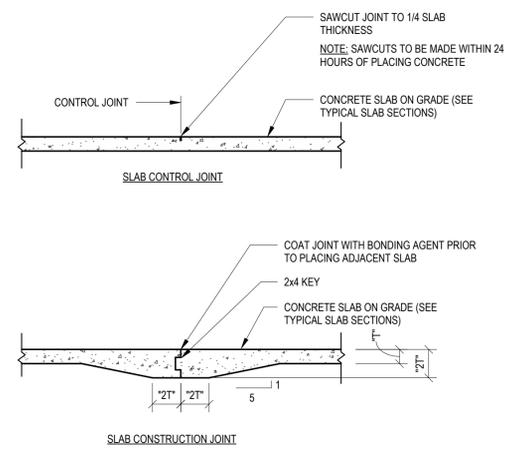
3 TYPICAL WALL CONTROL JOINT  
MAXIMUM SPACING BETWEEN CORNER AND WALL JOINT SHALL BE 15'-0". WALL JOINTS SHALL BE SPACED AT 40'-0" MAXIMUM



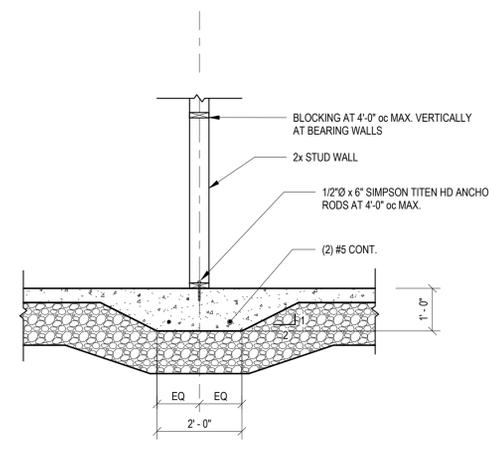
5 TYPICAL REINF AT DOOR DEPRESSION  
1/2" = 1'-0"



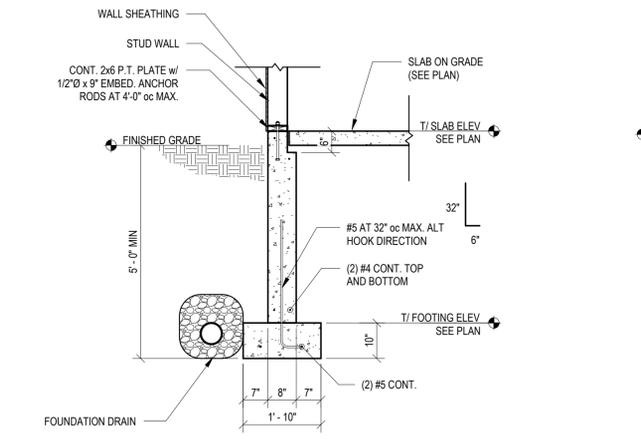
6 TYPICAL SLAB SECTIONS  
1/2" = 1'-0"



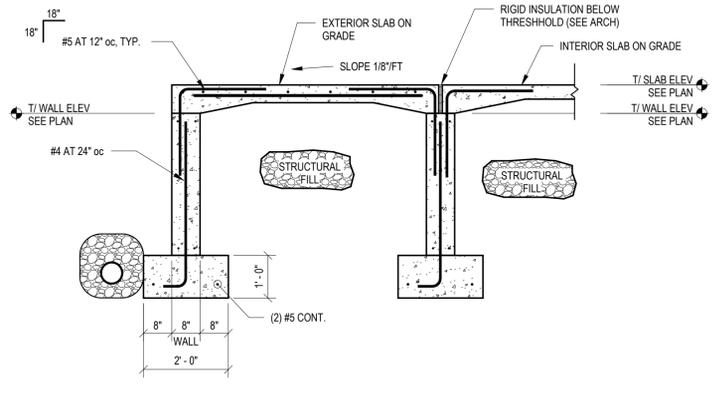
7 TYPICAL SLAB JOINT DETAILS - 4" SLABS  
1/2" = 1'-0"



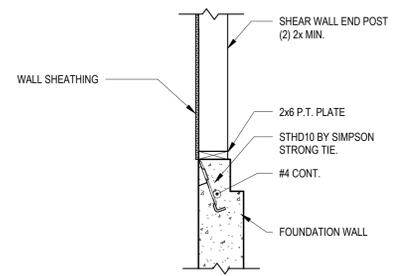
8 TYPICAL THICKENED SLAB DETAIL  
1/2" = 1'-0"



9 SECTION  
1/2" = 1'-0"



10 TYPICAL STOOP DETAIL  
1/2" = 1'-0"



11 TYPICAL HOLDOWN DETAIL  
3/4" = 1'-0"



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON  
ARCHITECTS P.C.**

**M<sup>2</sup> STRUCTURAL  
ENGINEERING, P.C.**  
23 Thornbury Way  
Woolham, ME 04092  
(207) 882-0963  
www.m2se.com

**BANGOR PROTOTYPICAL**  
**4 UNIT - TYPE 1**  
Bangor, Maine

REVISIONS		
#	DATE	DESCRIPTION

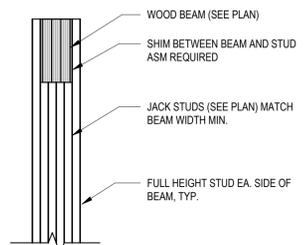
DATE:	11/25/2025
PROJECT #	25021
DRAWN BY:	MJM
CHECKED BY:	MJM
DRAWING SCALE	As indicated

**SHEET TITLE**  
**FOUNDATION SECTIONS AND DETAILS**

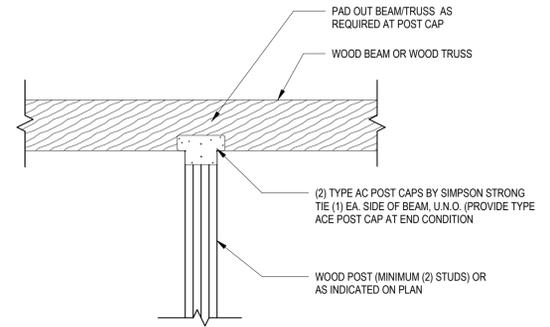
**S201**

© COPYRIGHT 1985-2025  
REPRODUCTION OR USE OF THIS  
DOCUMENT WITHOUT WRITTEN  
ASSOCIATES P.C. IS PROHIBITED.

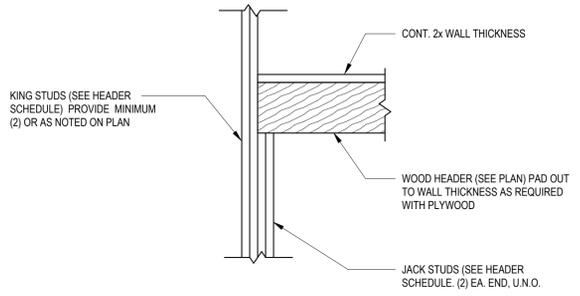
12/25/2025 9:25:55 PM (M)



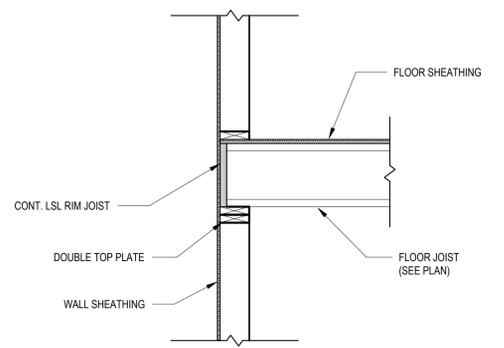
1 TYPICAL BEAM BEARING PERPENDICULAR TO WALL  
3/4" = 1'-0"



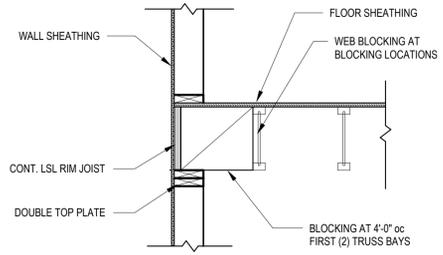
2 TYPICAL WOOD BEAM TO COLUMN DETAIL  
3/4" = 1'-0"



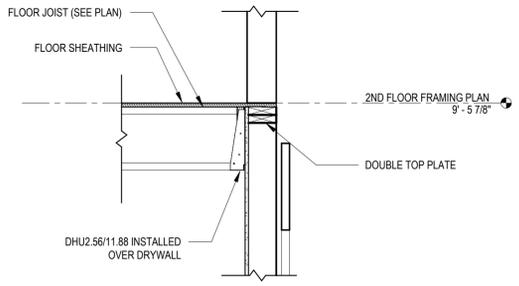
3 TYPICAL BEAM/HEADER DETAIL  
3/4" = 1'-0"



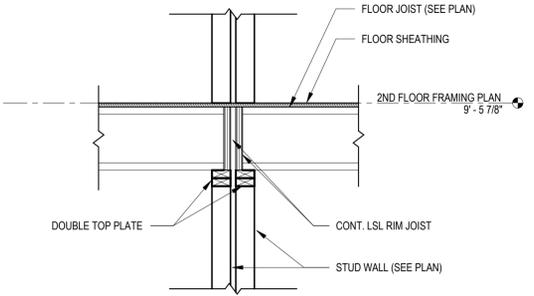
4 SECTION  
3/4" = 1'-0"



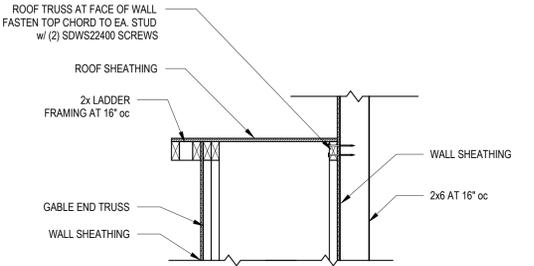
5 SECTION  
3/4" = 1'-0"



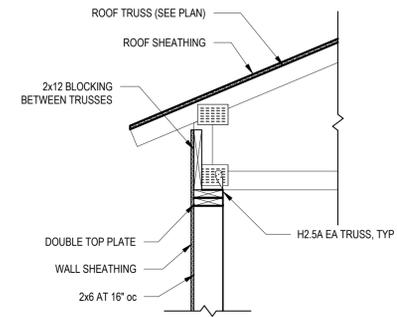
6 SECTION  
3/4" = 1'-0"



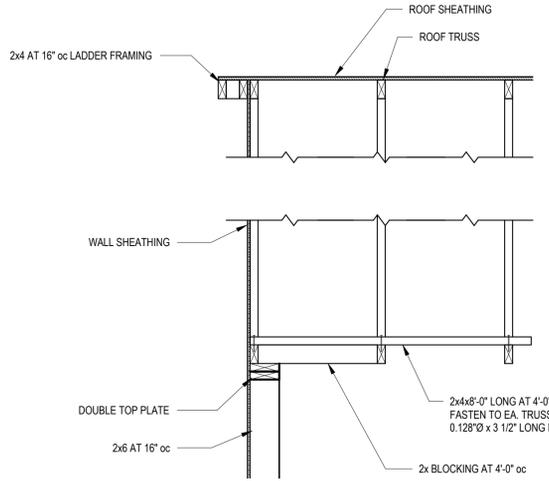
10 SECTION  
3/4" = 1'-0"



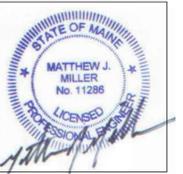
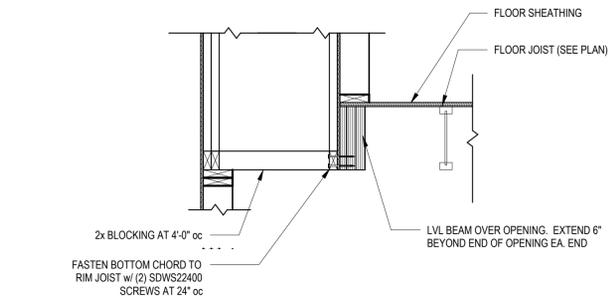
7 SECTION  
3/4" = 1'-0"



8 SECTION  
3/4" = 1'-0"



9 SECTION  
3/4" = 1'-0"



OFFICE: 20 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON  
ARCHITECTS P.C.**



**BANGOR PROTOTYPICAL**  
4 UNIT - TYPE 1  
Bangor, Maine

REVISIONS		
#	DATE	DESCRIPTION

DATE:	11/25/2025
PROJECT #	25021
DRAWN BY:	MJM
CHECKED BY:	MJM
DRAWING SCALE	3/4" = 1'-0"

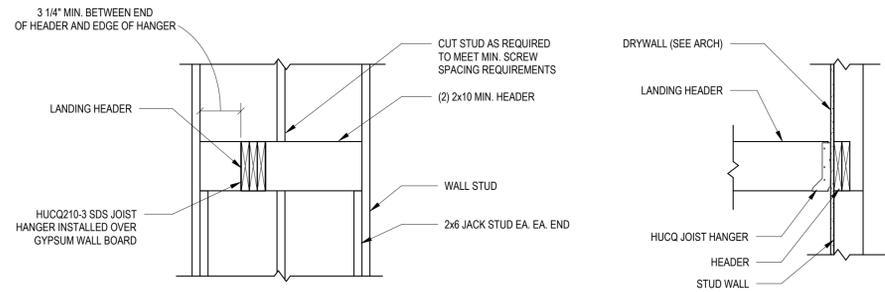
**SHEET TITLE**  
FRAMING SECTIONS  
AND DETAILS

**S301**

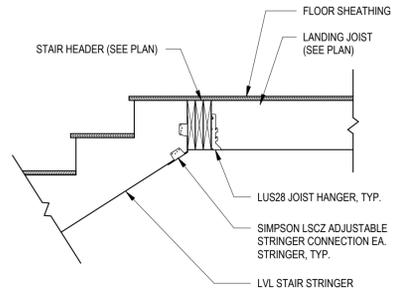
© COPYRIGHT 1985-2025  
REPRODUCTION OR USE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.

12/25/2025 5:25:59 PM/PT

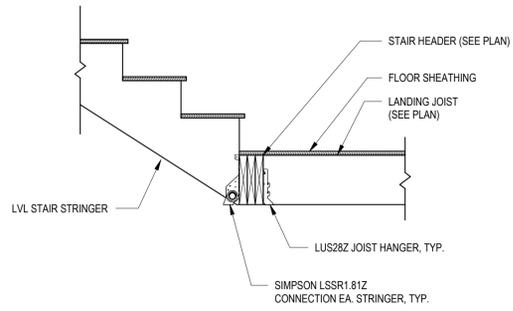
R  
Q  
P  
O  
N  
M  
J  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A



1 TYPICAL LANDING HEADER CONNECTION DETAIL  
3/4" = 1'-0"

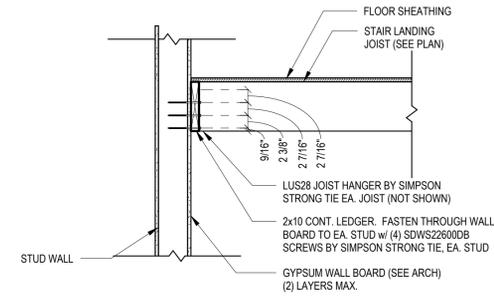


CONNECTION AT TOP OF STRINGER



CONNECTION AT BOTTOM OF STRINGER

2 TYPICAL STAIR STRINGER CONNECTION DETAILS  
3/4" = 1'-0"



3 SECTION  
3/4" = 1'-0"



OFFICE: 29 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON  
ARCHITECTS P.C.**



**BANGOR PROTOTYPICAL  
4 UNIT - TYPE 1**  
Bangor, Maine

REVISIONS

#	DATE	DESCRIPTION

DATE:	11/25/2025
PROJECT #	25021
DRAWN BY:	MJM
CHECKED BY:	MJM
DRAWING SCALE	3/4" = 1'-0"

SHEET TITLE  
TYPICAL STAIR  
FRAMING DETAILS

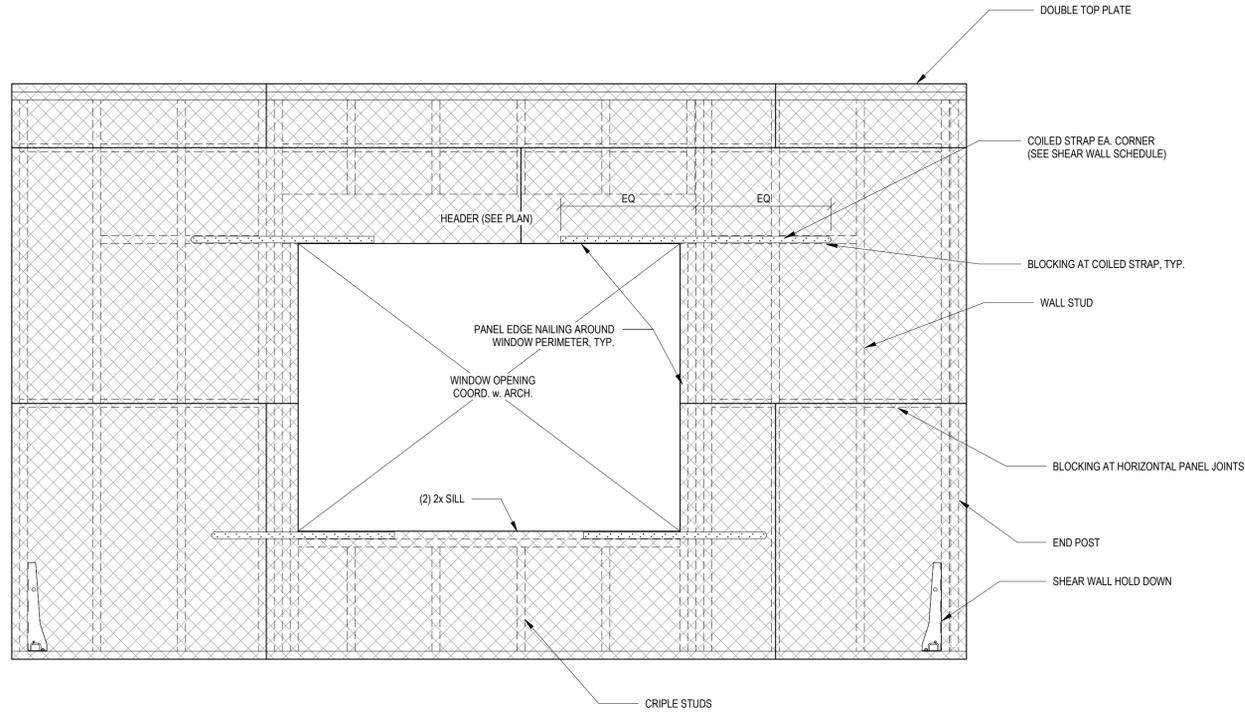
**S302**

© COPYRIGHT 1985-2025  
REPRODUCTION OR RELEASE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.

11/25/2025 5:26:03 PM

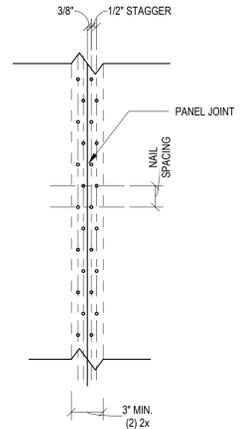
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

R  
Q  
P  
O  
N  
M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A



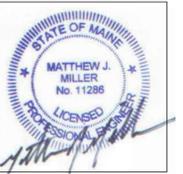
PLAN MARK	SHEATHING	FASTENING		END POSTS	BOUNDARY STUDS	CORNER STRAPS <sup>(1)</sup>	BOTTOM PLATE ANCHORAGE
		PANEL EDGES	FIELD				
SW-1	15/32" APA RATED	0.131"ø x 2 1/2" LONG NAILS AT 6" oc	0.131"ø x 2 1/2" LONG NAILS AT 12" oc	(2) 2x	(2) 2x	NR	(2) ROWS OF 0.148" dia. X 3 1/4" LONG NAILS AT 6" oc 1/4"ø x 6" LONG SIMPSON SDS SCREWS AT 12" oc
SW-2	15/32" APA STRUCTURAL I RATED	0.131"ø x 2 1/2" LONG NAILS AT 3" oc	0.131"ø x 2 1/2" LONG NAILS AT 12" oc	(2) 2x	(2) 2x	NR	5/8"ø x 6" LONG SIMPSON TITEN HD SCREWS AT 2'-0" oc
SW-3	(2) SIDES - 15/32" APA STRUCTURAL I RATED <sup>(4,5)</sup>	0.131"ø x 2 1/2" LONG NAILS AT 3" oc	0.131"ø x 2 1/2" LONG NAILS AT 12" oc	(2) 2x	(2) 2x	CS14 x 40"	5/8"ø x 6" LONG SIMPSON TITEN HD SCREWS AT 2'-0" oc

- NOTES:
- NR INDICATES NOT REQUIRED
  - REFER TO PLANS FOR LOCATIONS OF SHEAR WALLS.
  - REFER TO WOOD WALL SCHEDULE FOR STUD REQUIREMENTS.
  - WHERE (2) SIDES IS INDICATED WALL SHEATHING SHALL BE INSTALLED ON BOTH THE INTERIOR AND EXTERIOR FACES OF WALL. SHEATHING ON INTERIOR FACE SHALL BE FIELD INSTALLED.
  - WHERE PANELS ARE INSTALLED ON BOTH FACES OF WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS. ALTERNATIVELY, THE FRAMING MEMBERS AT PANEL JOINTS SHALL BE (2) 2x OR GREATER AND THE NAILS AT PANEL EDGES SHALL BE STAGGERED SEE DETAIL 2 / S401
  - REFER TO TYPICAL SHEAR WALL DETAIL FOR ADDITIONAL INFORMATION.
  - FASTEN ALL BUILT UP STUDS TOGETHER AS REQUIRED BY THE NDS TO ACT AS ONE.
  - WHERE NAILS ARE SPACED AT 2' oc, PROVIDE DOUBLE BOTTOM PLATES, DOUBLE STUDS AND DOUBLE BLOCKING AT PANEL JOINTS TO ACCOMMODATE STAGGERED NAILING.



1 TYPICAL SHEAR WALL ELEVATION  
3/4" = 1'-0"

2 STAGGERED NAILING  
1 1/2" = 1'-0"



OFFICE: 20 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074  
MAIL: PO BOX #776  
SCARBOROUGH, MAINE 04070  
PHONE: 207-883-6307  
WWW.GTDARCHITECTS.COM

**GAWRON  
TURGEON  
DILLON  
ARCHITECTS P.C.**



**BANGOR PROTOTYPICAL  
4 UNIT - TYPE 1**  
Bangor, Maine

REVISIONS		
#	DATE	DESCRIPTION

DATE:	11/25/2025
PROJECT #	25021
DRAWN BY:	MJM
CHECKED BY:	MJM
DRAWING SCALE	As indicated

SHEET TITLE  
SHEAR WALL  
DETAILS

**S401**

© COPYRIGHT 1985-2025  
REPRODUCTION OR USE OF THIS  
DOCUMENT WITHOUT WRITTEN  
PERMISSION OF GAWRON  
ASSOCIATES P.C. IS PROHIBITED.

12/25/2025 5:26:07 PM

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20