

PLANNING BOARD AGENDA

TUESDAY NOVEMBER 3, 2015, 7:00 P.M.

THIRD FLOOR COUNCIL CHAMBERS, CITY HALL

CONSENT AGENDA

1. SITE DEVELOPMENT PLAN

585 Broadway – The Salvation Army

Site Development Plan approval to construct 2,000 square feet of parking lot with seven spaces at 585 Broadway in a Shopping and Personal Service District. The Salvation Army, applicant.

2. SITE DEVELOPMENT PLAN AND PLANNED GROUP DEVELOPMENT

1100 Hammond Street – Kushi Realty Group

Site Development Plan and Planned Group Development approvals to construct a 5,125 square-foot restaurant, and associated parking at 1100 Hammond Street in a General Commercial and Service District. Kushi Realty Group, LLC, applicant.

3. SITE DEVELOPMENT PLAN

304 Garland Street – City of Bangor School Department

Site Development Plan approval to construct an 816 square foot building for sports equipment and other site improvements at 304 Garland Street in a Park and Open Space District and 175 Fruit Street in a Government and Institutional Service District. City of Bangor School Department, applicant.

NEW BUSINESS

4. SITE DEVELOPMENT PLAN

230 Bomarc Road – Bomarc Commercial Properties, LLC

Site Development Plan approval to construct six self-storage buildings totaling 17,280 square feet at 230 Bomarc Road in an Urban Industry District. Bomarc Commercial Properties, LLC, applicant.

APPROVAL OF MINUTES

5. PLANNING BOARD APPROVAL

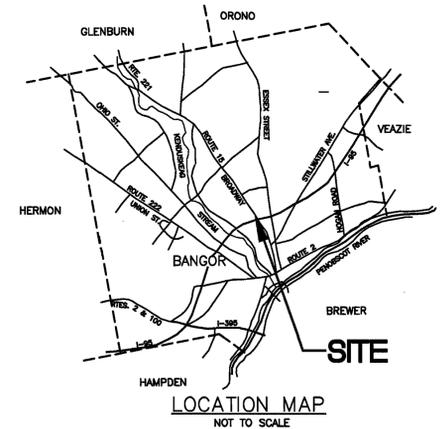
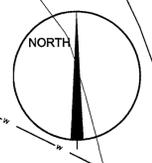
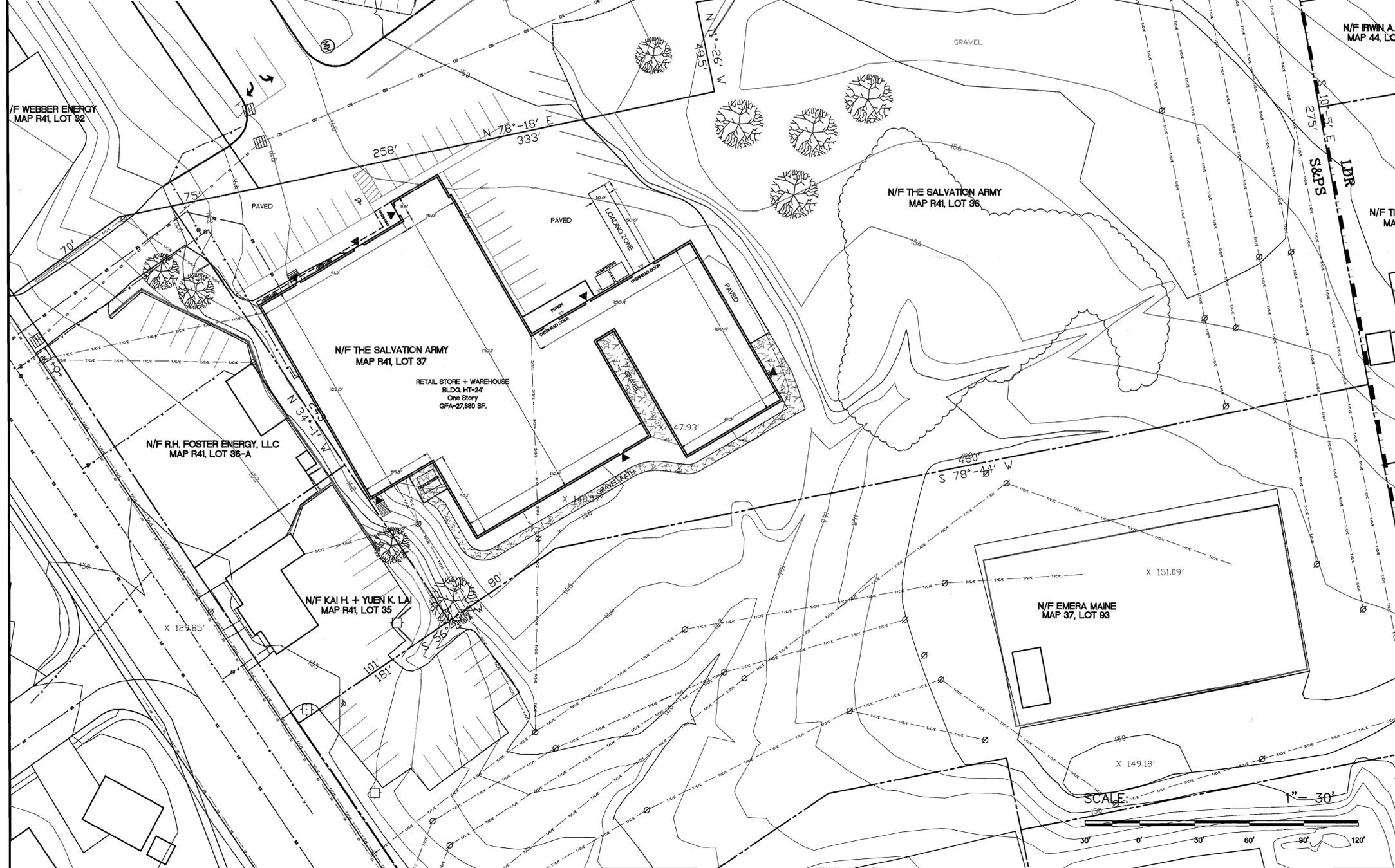
Planning Board Approval of Minutes.

585 Broadway
 LAND USE DISTRICT: Shopping and Personal Service District
 EXISTING USE: Community Service Organization (Permitted Use)
 PROPOSED USE: Community Service Organization (Permitted Use)

ZONING DISTRICT REQUIREMENTS	MINIMUM	EXISTING
Lot Area (SF)	10,000	146,930
Minimum Lot Width (FT)	100	336
Front Yard Setback (FT)	40	13
Side Yard Setback (FT)	10	9
Rear Yard Setback (FT)	25	318
Maximum Building Height	40	24
Maximum Lot Coverage	0.30	0.19
Maximum Floor Area Ratio	0.6	0.19
Maximum Impervious Surfaces Ratio	0.70	0.31
Minimum Buffer Yard (Permitted)	NA	NA

AREA CALCULATIONS (SF)	Existing
Building Footprint	27,880
Porch	161
Gross Floor Area	28,041
Impervious Surfaces	
Parking Lot and Loading	15,645
Gravel Path and Ground	2,638
Total Impervious Surfaces	18,283
Total Building & Impervious Surfaces	46,163

PARKING CALCULATIONS	Existing
Retail & Service Business (12,920 SF)	1/300GFA 32
Warehouse (14,960 SF)	1/1.5Emp 1
HC Spaces	1
Total Parking Spaces	34



- WATER
- SANITARY SEWER
- GAS
- UGT
- UGE
- OVERHEAD ELEC.
- STORM DRAIN
- POLE MNT. LIGHT
- BLDG. MNT. HPS WALL PACK
- CATCH BASIN
- SAN. MANHOLE
- HYDRANT
- WATER VALVE
- TRANSFORMER
- ▼ BUILDING ENTRANCE
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB

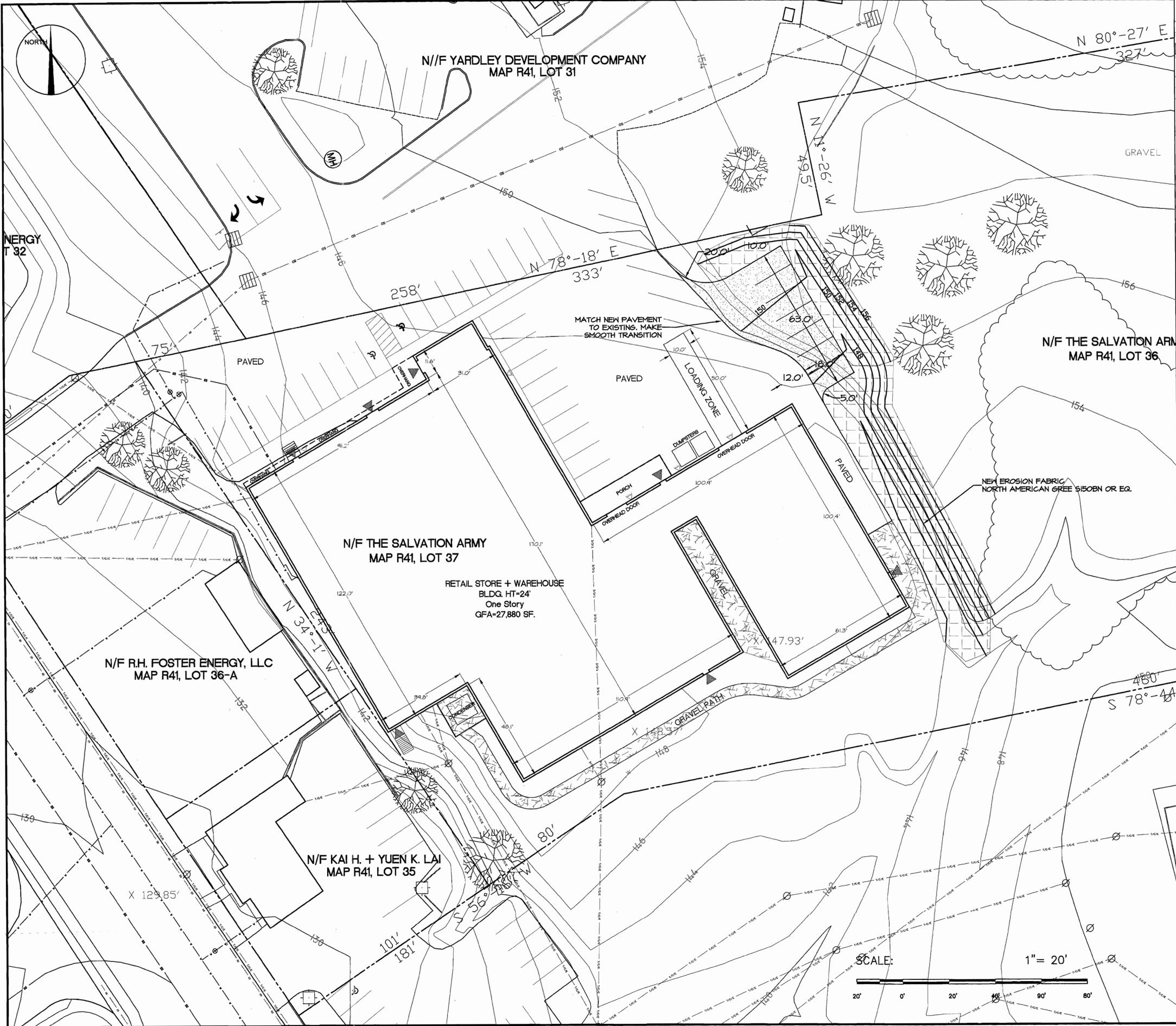
NOTES

- Existing site information taken from drawings of Broadway Shopping Center, GIS information by the City of Bangor GIS Office, deed information, aerial photographs and on-site measurements.
- The purpose of this plan is to show current site conditions of Lot 35 & 37, Tax Map R41.
- Bearings and distances are deed references.
- This plan does not represent a Boundary Survey. Property lines are approximate and are shown for graphical purposes only. No record research was conducted. The source Deed is Book 8649, Pages 26-27, Penobscot Registry of Deeds.
- All trees shown hereon are landscaped trees, unless the size is indicated.
- The location shown on this plan for above ground and underground utilities including water, electricity, telephone, communication, sanitary sewer, and storm water are approximate and should be field verified. Federal and State laws require anyone performing any sort of excavation, including digging, boring, backfilling, or grading to notify "Dig Safe" (1-888-344-7233), and any applicable utility company at least 72 hours prior to beginning work.
- Any property lines, easement lines, and other real property descriptions depicted on this plan are for the use of the Client or their agent(s) and any permitting or review agencies. They do not define legal rights or meet legal requirements for a land survey, and shall not be used in lieu of a survey as the basis for any land transfer or establishment of any property right.

PROJECT NAME: The Salvation Army 585 Broadway	PROJECT NO.: 15105	DATE: 10/27/2015	SCALE: AS SHOWN
CLIENT: The Salvation Army 585 Broadway Bangor, Maine 04401	DRAWN: GREGG, RGE	DATE ISSUED: July 27, 2015	
DESIGNED: FSM	CHECKED: RGE	DATE REVISION: 04/40	
APPROVED: RGE	FILED: N/A		

FOR PERMIT ONLY
 NOTED FOR CONSTRUCTION
 FRED S. MARSHALL
 22
 DRAWINGS NOT VALID FOR PERMITTING PURPOSES ONLY AND NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

C1



585 Broadway
 LAND USE DISTRICT: Shopping and Personal Service District
 EXISTING USE: Community Service Organization (Permitted Use)
 PROPOSED USE: Community Service Organization (Permitted Use)

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Lot Area (SF)	10,000	146,930	146,930
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Rear Yard Setback (FT)	25	318	318
Maximum Building Height	40	24	24
Maximum Lot Coverage	0.30	0.19	0.19
Maximum Floor Area Ratio	0.6	0.19	0.19
Maximum Impervious Surfaces Ratio	0.70	0.31	0.33
Minimum Buffer Yard (Permitted)	NA	NA	NA

AREA CALCULATIONS (SF)		
Building Footprint		27,880
Porch		161
Gross Floor Area		28,041
Impervious Surfaces		
Parking Lot and Loading	15,645	17,583
Gravel Path and Ground	2,638	2,638
Total Impervious Surfaces	18,283	20,221
Total Building & Impervious Surfaces	46,163	48,101

PARKING CALCULATIONS		
Retail and Service (12,920 SF)	1/300GFA	32
Warehouse (14,960 SF)	1/1.5 Emp	1
HC Spaces		1
Total Parking Spaces		34

- WATER
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- STORM DRAIN
- POLE MNT. LIGHT
- △ BLDG. MNT. HPS YARD LIGHT
- CATCH BASIN
- SAN. MANHOLE
- ⊕ HYDRANT
- ⊗ WATER VALVE
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- DECIDUOUS TREE
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REVISIONS

NO.	DATE	DESCRIPTION
1	10/27/2015	ADD WATER & SEWER BUILDING SF

PROJECT NAME: The Salvation Army
 585 Broadway
 Bangor, Maine
 SHEET NAME: Site Plan

PROJECT NO.: E103
 DRAWING NO.: 15105Base.dwg
 FIELDBOOK: N/A
 SCALE: AS SHOWN
 DATE ISSUED: July 27, 2015

DESIGNED: FSM
 DRAWN: FSM
 CHECKED: KGE
 APPROVED: [Signature]

CLIENT: The Salvation Army
 585 Broadway
 Bangor, Maine 04401

Plymouth Engineering, Inc.
 P.O. Box 46 30 Lower Detroit Road
 Plymouth, Maine 04986
 Tel: (207) 257-2071 Fax: (207) 257-2190
 info@plymouthengineering.com
 www.plymouthengineering.com

FOR PERMITTING ONLY
 NOT FOR CONSTRUCTION

FRED S. MARSHALL
 22
 LICENSED PROFESSIONAL SURVEYOR AND PLANNING
 PURPOSES ONLY AND IS NOT INTENDED
 FOR PERMITTING, BIDDING OR CONSTRUCTION

SHEET 2 OF 4

C2



GENERAL NOTES

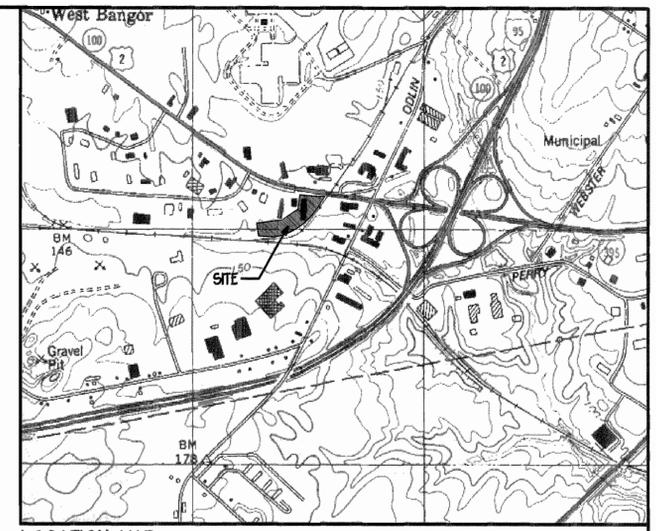
- RECORD OWNER OF PROPERTY IS KUSHI REALTY GROUP, LLC, 1100 HAMMOND STREET, BANGOR, MAINE BY DEED RECORDED PORD, BOOK 12444, PAGE 167.
- THE BOUNDARY LINES ARE BASED ON A SUBDIVISION PLAN FOR KUSHI REALTY GROUP, LLC BY W. E. KING SURVEYOR, LLC, OLD TOWN, MAINE. THIS PLAN IS TO BE RECORDED IN THE PENOBSCOT COUNTY RD.
- THE PROPERTY IS IN THE GENERAL COMMERCIAL + SERVICE DISTRICT (GG+5).

SPACE AND BLANK	ORDINANCE
MIN LOT SIZE	10,000 SF
MIN LOT WIDTH	100 FT
MIN FRONT SETBACK	40 FT
MIN SIDE SETBACK	10 FT
MIN REAR SETBACK	25 FT
MAX BLDG HGT	40 FT
MAX LOT COVERAGE	35%
MAX FLOOR AREA RATIO	0.6
MAX IMPERVIOUS RATIO	0.75
- DEVELOPMENT STANDARDS:

STANDARD	LOT 1	LOT 2
MIN LOT SIZE	4,190 AC	0.882 AC
LOT COVERAGE	5.8%	13.3%
FLOOR AREA RATIO	0.12	0.13
IMPERVIOUS RATIO	0.26	0.67
- THE PROPERTY IS SHOWN AS LOT 11B ON TAX MAP R18.
- TOTAL AREA OF PARCEL IS 220,936 SF.
- PARKING STANDARDS AS FOLLOWS:

USE	REQUIRED	PROVIDED
MOTEL (60 RMS)	60 SPACES	65 SPACES
RESTAURANT (5,145 SF)	26 SPACES	50 SPACES
TOTAL SPACES	86 SPACES	115 SPACES
HANDICAP SPACES	4 SPACES	9 SPACES

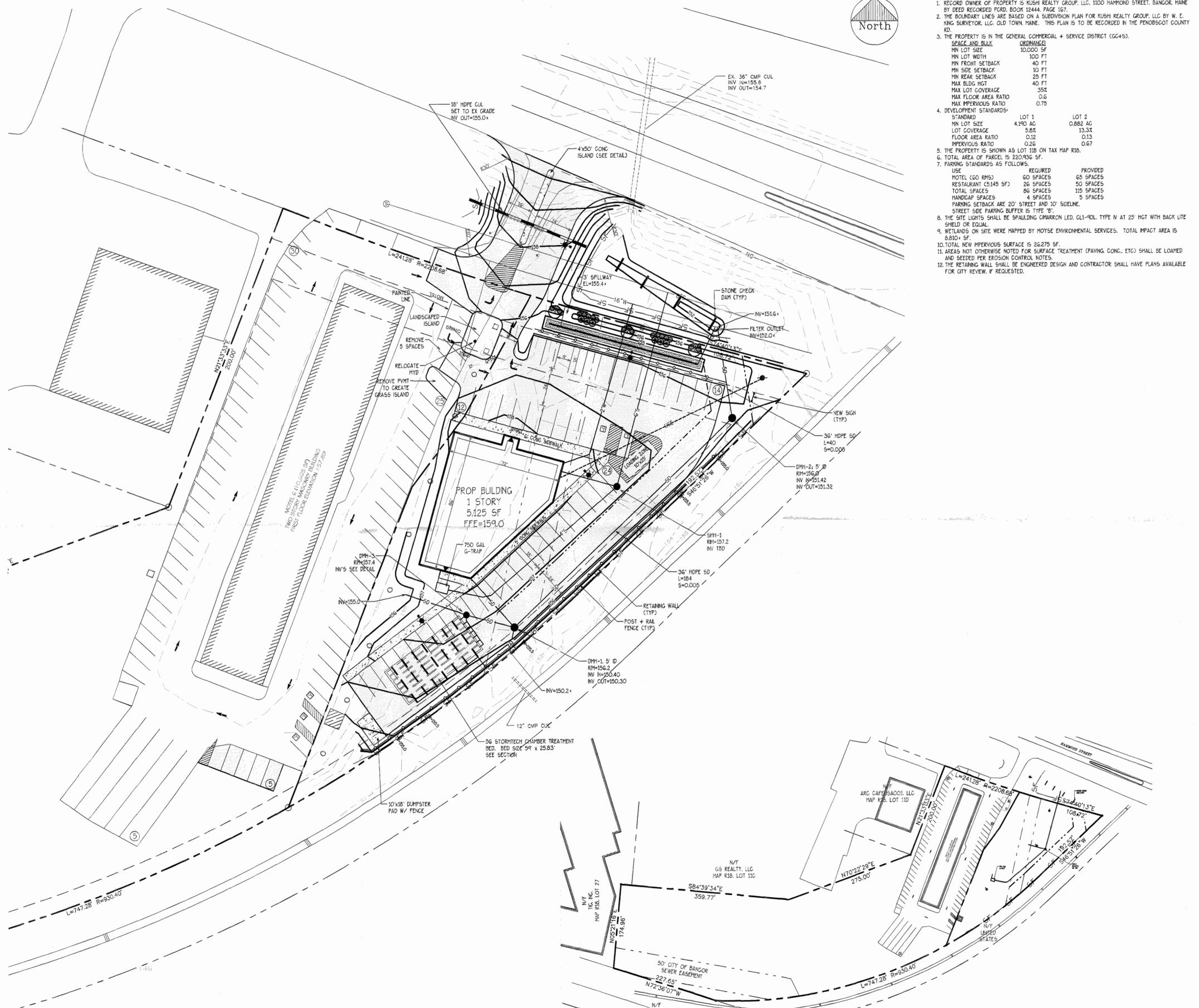
 PARKING SETBACK ARE 20' STREET AND 10' SIDEWALK.
 STREET SIDE PARKING BUFFER IS TYPE 'B'.
- THE SITE LIGHTS SHALL BE SPALLING CHARRON LED, GL1-10L, TYPE N AT 25' HGT WITH BACK LITE SHIELD OR EQUAL.
- WETLANDS ON SITE WERE MAPPED BY MOYSE ENVIRONMENTAL SERVICES. TOTAL IMPACT AREA IS 8,810 SF.
- TOTAL NEW IMPERVIOUS SURFACE IS 26,275 SF.
- AREAS NOT OTHERWISE NOTED FOR SURFACE TREATMENT (PAVING, CONC., ETC) SHALL BE LOAMPED AND SEEDED PER EROSION CONTROL NOTES.
- THE RETAINING WALL SHALL BE ENGINEERED DESIGN AND CONTRACTOR SHALL HAVE PLANS AVAILABLE FOR CITY REVIEW, IF REQUESTED.



LOCATION MAP
NOT TO SCALE

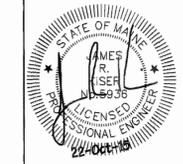
LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
□	MONUMENT	□
○	IRON PIPE/ROD	○
▭	BUILDING	▭
+	SIGN	+
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	TREELINE	---
124	CONTOURS	124
W	WATER	W
S	SEWER	S
SD	STORM DRAIN	SD
OHE	OVERHEAD ELEC. & TEL	OHE
---	UNDERGROUND ELEC. & TEL	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CULVERT	---
---	STONE WALL	---
○	DECIDUOUS TREE	○ 1.5" MIN CAL
○	EVERGREEN TREE	○ 4" MIN HGT
○	SHRUB	○ EVERGREEN 18" MIN DIAMETER 28" MIN SF
---	SILT FENCE	---
---	HANDICAP SYMBOL	---
---	DOOR LOCATION	---
---	PAINTED TRAFFIC ARROWS	---



PROPERTY PLAN
SCALE: 1"=100'

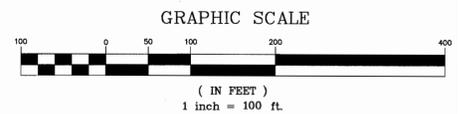


REV:	DATE:	BY:	COMMENTS:	PROJ. NO:	630
	22 OCT 15	JRK	SCALE: 1"=30'		
SITE PLAN					
MOTEL & GROUP DEVELOPMENT					
1100 HAMMOND STREET BANGOR, MAINE					
FOR: KUSHI REALTY GROUP, LLC 1100 HAMMOND STREET BANGOR, ME 04401					
 ENGINEERING & DEVELOPMENT CONSULTING PO BOX 282, HAMPDEN, MAINE 04444 207-862-4700				 REVISIONS: OCT 24 2015 C & ED and P&S	
SHEET 1-2					



LOCATION MAP
NOT TO SCALE

EXISTING		PROPOSED	
---	ZONE LINE	---	ZONE LINE
---	PROPERTY LINE	---	PROPERTY LINE
---	DOOR LOCATION	---	DOOR LOCATION
---	CONTOUR	---	CONTOUR
---	PAVEMENT	---	PAVEMENT
---	GRAVEL	---	GRAVEL
---	BUILDING LIGHTING	---	BUILDING LIGHTING
---	SIGN	---	SIGN
---	TREE LINE	---	TREE LINE
---	UTILITY POLE	---	UTILITY POLE
---	WATER	---	WATER
---	SEWER	---	SEWER
---	UNDERGROUND ELECTRIC	---	UNDERGROUND ELECTRIC
---	ABOVE GROUND TELECOMMUNICATIONS	---	ABOVE GROUND TELECOMMUNICATIONS
---	STORM DRAIN	---	STORM DRAIN
---	FOOTING DRAIN	---	FOOTING DRAIN
---	GAS	---	GAS
---	FIBER OPTICS	---	FIBER OPTICS
---	CABLE TV	---	CABLE TV
---	SILT FENCE	---	SILT FENCE
---	SITE LIGHTING	---	SITE LIGHTING
---	STADIUM LIGHTING	---	STADIUM LIGHTING
---	DECIDUOUS TREE	---	DECIDUOUS TREE
---	EVERGREEN TREE	---	EVERGREEN TREE
---	SHRUB	---	SHRUB
---	HYDRANT	---	HYDRANT
---	GATE VALVE	---	GATE VALVE
---	TRANSFORMER PAD	---	TRANSFORMER PAD
---	DUMPSTER PAD	---	DUMPSTER PAD
---	ELECTRIC MANHOLE	---	ELECTRIC MANHOLE
---	CATCH BASIN	---	CATCH BASIN
---	DRAIN MANHOLE	---	DRAIN MANHOLE
---	SEWER MANHOLE	---	SEWER MANHOLE
---	STRUCTURES	---	STRUCTURES
---	CHAIN LINK FENCE	---	CHAIN LINK FENCE
---	MATCH EXISTING GRADE	---	MATCH EXISTING GRADE



NO.	DATE	BY	DESCRIPTION



BANGOR SCHOOL DEPARTMENT
CAMERON STADIUM COLD STORAGE BUILDING
 BANGOR, MAINE
EXISTING CONDITIONS
SITE PLAN

Drawn: AT
 Checked: RB
 Scale: 1" = 100'
 Date: 10-2-2015
 Project No:
 15117
 Sheet Number:

FOR REVIEW
 10-27-2015

1



- GENERAL NOTES:**
- EXISTING CONDITIONS INFORMATION TAKEN FROM CITY OF BANGOR.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF EXISTING UTILITIES WITH ALL UTILITY COMPANIES BEFORE BEGINNING CONSTRUCTION.
 - EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO BEGINNING OF CONSTRUCTION.
 - EROSION CONTROL MESH SHALL BE INSTALLED ON ALL SLOPES STEEPER THAN 3:1.
 - HAY BALE BARRIERS SHALL BE INSTALLED AROUND EXISTING CATCH BASINS, AND PIPE INLETS / OUTLETS DURING CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO ANY EXCAVATION WORK.
 - CONSTRUCTION ACTIVITIES OCCURRING AFTER NOVEMBER 15TH SHALL INCORPORATE A WINTER CONSTRUCTION PLAN WHICH SHALL BE APPROVED BY THE CITY OF BANGOR.
 - CONTRACTOR TO FOLLOW BMP. ALL DISTURBED AREAS SHALL BE REVEGETATED AND RECEIVE PROPER EROSION CONTROL MANAGEMENT. 4" LOAM, SEED AND MULCH ALL DISTURBED AREAS.

ZONING SCHEDULE				
MAP 53 LOT 227	G & ISD		P & O	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED
MAX. DISTRICT HEIGHT	80'	< 30'	35'	35'
MINIMUM LOT AREA	NONE	✓	1 ACRE	✓
MAXIMUM LOT COVERAGE	30%	16.77%	15%	5.8%
MINIMUM LOT WIDTH	NONE	✓	200'	✓
MIN. FRONT YARD DEPTH	30'	✓	30'	✓
MIN. SIDE YARD DEPTH	20'	✓	20'	✓
MIN. REAR YARD DEPTH	30'	✓	30'	✓

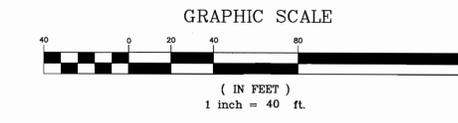
PARCEL AREA:
 FRUIT STREET SCHOOL = 316,612 (7.27 ACRES)
 WILLIAM S. COHEN SCHOOL AND GARLAND FIELD = 993,076 (22.8 ACRES)

	TOTAL BUILDINGS	PAVEMENT	PROPOSED (SQUARE FEET)
G & ISD	53,106	87,728	816
P & O	69,228	225,341	0

MAX. LOT COVERAGE
 G&ISD 53,106+6,440/316,612 = 16.77%
 P&O 69,228+11,300/993,076 = 5.8%
 IMPERVIOUS SURFACE RATIO
 285,585 / 993,076 = 0.2876 PROPOSED
 PROPOSED BUILDING 24' x 34' = 816 SQ FT (COLD STORAGE)

LEGEND

EXISTING	ZONE LINE	PROPOSED
---	PROPERTY LINE	- - -
---	DOOR LOCATION	D
---	CONTOUR	(101)
---	PAVEMENT	[Hatched]
---	GRAVEL	[Dotted]
---	BUILDING LIGHTING	⊗ RECESSED
---	SIGN	[Symbol]
---	TREE LINE	[Symbol]
---	UTILITY POLE	[Symbol]
---	WATER	[Symbol]
---	SEWER	[Symbol]
---	UNDERGROUND ELECTRIC	[Symbol]
---	ABOVE GROUND TELECOMMUNICATIONS	[Symbol]
---	STORM DRAIN	[Symbol]
---	FOOTING DRAIN	[Symbol]
---	GAS	[Symbol]
---	FIBER OPTICS	[Symbol]
---	CABLE TV	[Symbol]
---	SILT FENCE	[Symbol]
---	SITE LIGHTING	[Symbol]
---	STADIUM LIGHTING	[Symbol]
---	DECIDUOUS TREE	[Symbol]
---	EVERGREEN TREE	[Symbol]
---	SHRUB	[Symbol]
---	HYDRANT	[Symbol]
---	GATE VALVE	[Symbol]
---	TRANSFORMER PAD	[Symbol]
---	DUMPSTER PAD	[Symbol]
---	ELECTRIC MANHOLE	[Symbol]
---	CATCH BASIN	[Symbol]
---	DRAIN MANHOLE	[Symbol]
---	SEWER MANHOLE	[Symbol]
---	STRUCTURES	[Symbol]
---	CHAIN LINK FENCE	[Symbol]
---	MATCH EXISTING GRADE	[Symbol]



CARPENTER ASSOCIATES
 CONSULTING ENGINEERS
 687 STILLWATER AVENUE • OLD TOWN-MAINE 04468

REVISIONS	NO.	DATE	DESCRIPTION

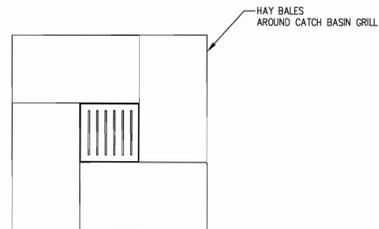


BANGOR SCHOOL DEPARTMENT
CAMERON STADIUM COLD STORAGE BUILDING
 BANGOR, MAINE
SITE PLAN

Drawn: AT
 Checked: RB
 Scale: 1" = 40'
 Date: 10-2-12015
 Project No:
 15117
 Sheet Number:

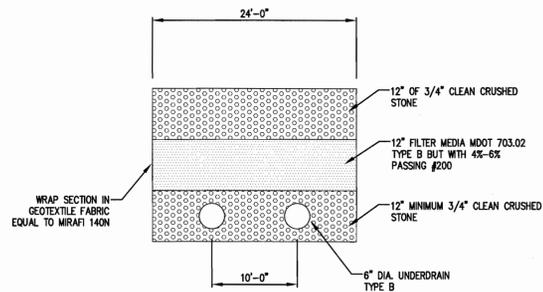
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FOR REVIEW
 10-27-2015

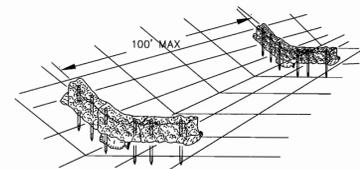


- CONSTRUCTION SPECIFICATIONS:**
- BALES SHALL BE PLACED WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF FOUR INCHES AND PLACED SO THE BINDINGS ARE HORIZONTAL.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 - INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

GRATE BASIN PROTECTION
NOT TO SCALE

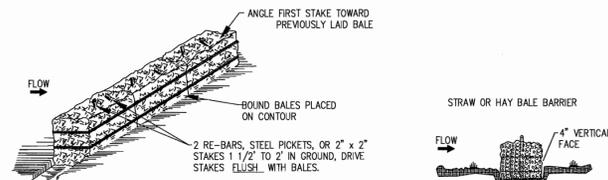


EXISTING PAVEMENT DRIP EDGE FILTER
NOT TO SCALE



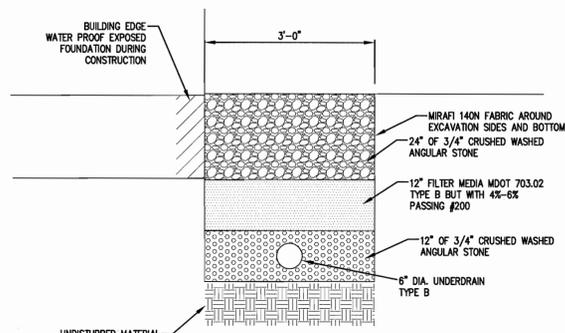
EROSION CHECK TO BE BALES OF HAY SECURED TO THE GROUND WITH 2-4' LONG GRADE STAKES FOR EACH BALE. SAND BAG AS REQUIRED. PLACE SUFFICIENT BALES TO ESTABLISH ELEVATIONS AT 'A' AT LEAST 6 INCHES ABOVE OVERFLOW AT 'B'.

EROSION CHECK FOR DITCH

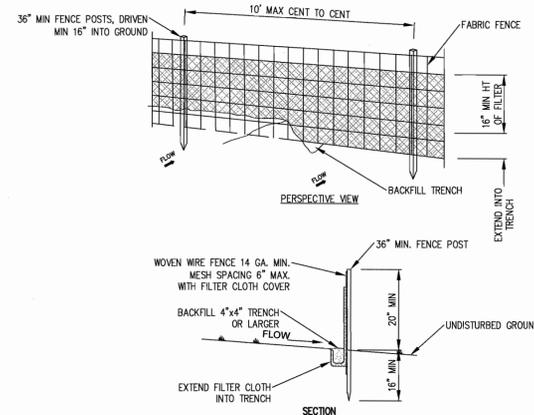


- CONSTRUCTION SPECIFICATIONS:**
- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
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HAYBALE DETAIL
NOT TO SCALE



BUILDING DRIP EDGE FILTER
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS:**
THE CONTRACTOR HAS THE OPTION TO NOT USE WOVEN WIRE MESH IF STAKE SPACERS ARE REDUCED TO 6' o.c.
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP OF MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
 - POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD. FENCE: WOVEN WIRE, 14 GA. 6" MAX. MESH OPENINGS. FILTER CLOTH: FILTER X, MARAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL. PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

SILT FENCE DETAIL
NOT TO SCALE

- NOTES:**
- PERMANENT SEEDING NOTES FOR ALL DISTURBED AREAS**
- DURING PERIOD FROM APRIL 15 TO OCTOBER 15, AREAS DISTURBED SHALL BE LIMED, FERTILIZED, SEEDED AND MULCHED AS FOLLOWS:
 - APPLY AGRICULTURAL GRADE LIMESTONE OF NOT LESS THAN 85 PERCENT CALCIUM AND MAGNESIUM CARBONATES AT A RATE OF 130 LBS/1,000 SQUARE FEET (SF).
 - FERTILIZE WITH COMMERCIAL GRADE 10-10-10 FERTILIZER AT A RATE OF 14 LBS/1,000 SF.
 - SEED WITH LAST YEAR'S CROP MIXTURE AT A RATE OF 2 LBS/1,000 SF. MIXTURE SHALL BE:

RED FESCUE	57 PERCENT
KENTUCKY BLUEGRASS	28 PERCENT
REDTOP	9 PERCENT
WHITE DUTCH CLOVER	6 PERCENT

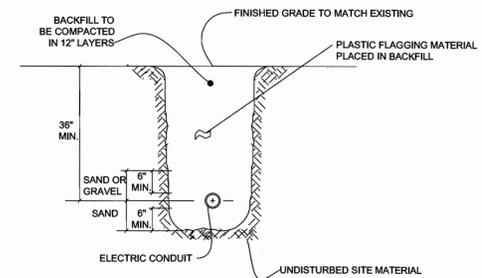
 MIXTURE SHALL HAVE A GERMINATION RATE OF NOT LESS THAN 80 PERCENT AND A PURITY OF NOT LESS THAN 85 PERCENT.
 - AFTER SEEDING, AREAS DISTURBED SHALL BE HAY MULCHED AT A RATE OF 2.5 BALES/1,000 SF.
 - NO SEEDING SHALL TAKE PLACE BETWEEN JUNE 15 AND JULY 15. AS A CONTINGENCY PLAN, AREAS DISTURBED DURING THESE DATES SHALL BE HAY MULCHED AT A RATE OF 2 BALES/1,000 SF AND SECURED WITH PEG AND TWINE OF 4-6 PEGS/SY OR WITH TERRA TACK II AT A RATE OF 60 GALLONS/ACRE.
 - WEEKLY, OR AFTER PRECIPITATION PRODUCING THE EQUIVALENT OF ONE-HALF INCH OF RAINFALL OR SNOWMELT, ALL MULCHED AREAS SHALL BE INSPECTED FOR SUITABILITY FOR EROSION CONTROL AND SLOPE PROTECTION. WEAKENED AREAS SHALL BE RE-MULCHED AS 2) ABOVE.
 - WITHIN 30-45 DAYS OF SEED APPLICATION, ALL AREAS SHALL BE INSPECTED FOR SATISFACTORY GROWTH. AREAS OF LESS THAN 75 PERCENT GROWTH SHALL BE RESEED AT ORIGINAL APPLICATION RATES, MULCHED AND MAINTAINED ACCORDINGLY AS SPECIFIED ABOVE.
 - PERMANENT SEEDING SHALL BE INSTALLED IMMEDIATELY UPON REACHING FINAL GRADE.

- EROSION CONTROL CONSTRUCTION SEQUENCE**
- ALL EARTHWORK OR CONSTRUCTION ACTIVITIES SHALL OCCUR AFTER APRIL 15 AND BEFORE NOVEMBER 15 UNLESS PRIOR PERMISSION FROM DEP IS OBTAINED. THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES PRIOR TO THE DISTURBANCE OF ANY WORK AREA.
- INSTALL ALL SILT FENCING AND TEMPORARY CONSTRUCTION ENTRANCES.
 - GRADE PROJECT TO SUBGRADE LEVEL IN LOGICAL MANNER TO MINIMIZE EARTH MOVING AND TO PRESERVE LAND NOT TO BE DISTURBED.
 - COMPLETE DRAINAGE AND UTILITY CONSTRUCTION.
 - INSTALL GRAVEL BASE. REMOVE TEMPORARY CONSTRUCTION ENTRANCE IMMEDIATELY PRIOR TO PLACING ROAD BASE.
 - COMPLETE FINISH GRADING. LOAM, SEED AND MULCH (WITH EROSION CONTROL BLANKET WHERE SHOWN) ALL DISTURBED AREAS NOT TO BE PAVED OR RIP-RAPPED.
 - COMPLETE UNFINISHED CONSTRUCTION AND FINISH PAVING.
 - REMOVE TEMPORARY DIVERSION DITCHES, LEVEL SPREADERS, HAY BALES, AND STONE CHECK DAM WHEN 75% OF GRASS GROWTH HAS BEEN ESTABLISHED.

- TEMPORARY SEEDING NOTES**
- ANY DISTURBED AREAS TO BE LEFT IN ROUGH GRADED FORM FOR MORE THAN 30 DAYS BUT LESS THAN ONE GROWING SEASON SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED.
 - APPLICATION RATES AND MATERIALS USED SHALL BE THE SAME AS FOR PERMANENT SEEDING EXCEPT SEED MIXTURE SHALL BE ANNUAL RYEGRASS.

- DORMANT SEEDING NOTES**
- DURING PERIODS FROM OCTOBER 1 TO NOVEMBER 15, AREAS DISTURBED SHALL BE DORMANT SEEDED WITH WINTER RYE, 1.5 LB/1,000 SF. DURING PERIODS BETWEEN NOVEMBER 15 AND APRIL 15, DISTURBED AREAS SHALL BE MULCHED AND IF NECESSARY, STABILIZED WITH EROSION CONTROL MESH.

- GENERAL NOTES**
- ON-SITE STABILIZATION WILL BE DONE WITHIN 15 DAYS OF FINAL GRADING OR WITHIN 30 DAYS OF INITIAL SOIL DISTURBANCE.
 - EVERY WEEK AND AFTER PRECIPITATION PRODUCING THE EQUIVALENT OF ONE-HALF INCH OF RAINFALL, THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF SEDIMENT FROM SILT FENCE IF SOIL ACCUMULATES TO A DEPTH OF ONE-HALF THE FABRIC HEIGHT; REPAIR OF HAYBALE BARRIERS IF RUNOFF CHANNELIZES UNDER OR AROUND THE BALES; AND WASHING OF TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO OCCURRENCES OF SIGNIFICANT TRAFFIC.
 - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH "MAINE EROSION & SEDIMENT CONTROL BEST MANAGEMENT PRACTICE STANDARDS," PUBLISHED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF LAND AND WATER QUALITY, 2003 OR LATEST EDITION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MEASURES, INCLUDING MATERIALS, CONSTRUCTION, MAINTENANCE AND REMOVAL.
 - JUTE MESH SHALL BE INSTALLED ON ALL LOAM AND SEEDED AREAS WHICH HAVE A SLOPE GREATER THAN 3:1.
 - EROSION CONTROL MEASURES SHALL BE INSPECTED ON A MONTHLY BASIS ONCE FINAL STABILIZATION IS COMPLETE, BY THE INSPECTING ENGINEER. THIS INSPECTION IN NO WAY REDUCES OR ELIMINATES THE CONTRACTOR'S RESPONSIBILITY TO ADHERE WITH VERBAL OR WRITTEN REQUIREMENTS OF DEP, ARMY CORPS, EPA, OR OTHER JURISDICTIONAL AGENCIES. CONTRACTOR MUST FURTHER ADHERE TO ALL REQUIREMENTS SET FORTH IN THE DEP ORDER OF CONDITIONS.
 - AFTER EACH INSPECTION OF EROSION CONTROL MEASURES, AN INSPECTION REPORT DETAILING THE SCOPE OF THE INSPECTION, NAME(S) OF PERSONNEL CONDUCTING THE INSPECTION, DATE, MAJOR OBSERVATIONS, AND ACTIONS TAKEN, SHALL BE MADE AND KEPT ON FILE FOR THREE YEARS AFTER THE INSPECTION.
 - ALL DISTURBED AREAS WILL BE SEEDED AND MULCHED.
 - A SUITABLE BINDER SUCH AS CURASOL OR TERRTACK WILL BE USED ON THE HAY MULCH FOR WIND CONTROL.
 - INSPECTIONS BY A PROFESSIONAL ENGINEER SHALL CONSIST OF WEEKLY VISITS TO THE SITE TO INSPECT THE ROOF DRIP EDGE FILTER'S UNDERDRAIN CONSTRUCTION, FILTER MATERIAL PLACEMENT AND OVERFLOW FROM INITIAL GROUND DISTURBANCE TO FINAL STABILIZATION OF THE FILTER.



- NOTES:**
- REFER TO PROPOSED SITE PLAN FOR LOCATIONS.
 - PROVIDE ALL UTILITY CONDUITS W/ PULL STRING / ROPE.

ELECTRICAL TRENCH DETAIL
NOT TO SCALE



CARPENTER ASSOCIATES
CONSULTING ENGINEERS
687 STILLWATER AVENUE - OLD TOWN - MAINE 04468

NO.	DATE	BY	DESCRIPTION



BANGOR SCHOOL DEPARTMENT
CAMERON STADIUM COLD STORAGE BUILDING
BANGOR, MAINE
SITE DETAILS

Drawn: AT
Checked: RB
Scale: 1" = 40'
Date: 10-2-2015
Project No: 15117
Sheet Number:

FOR REVIEW
10-27-2015

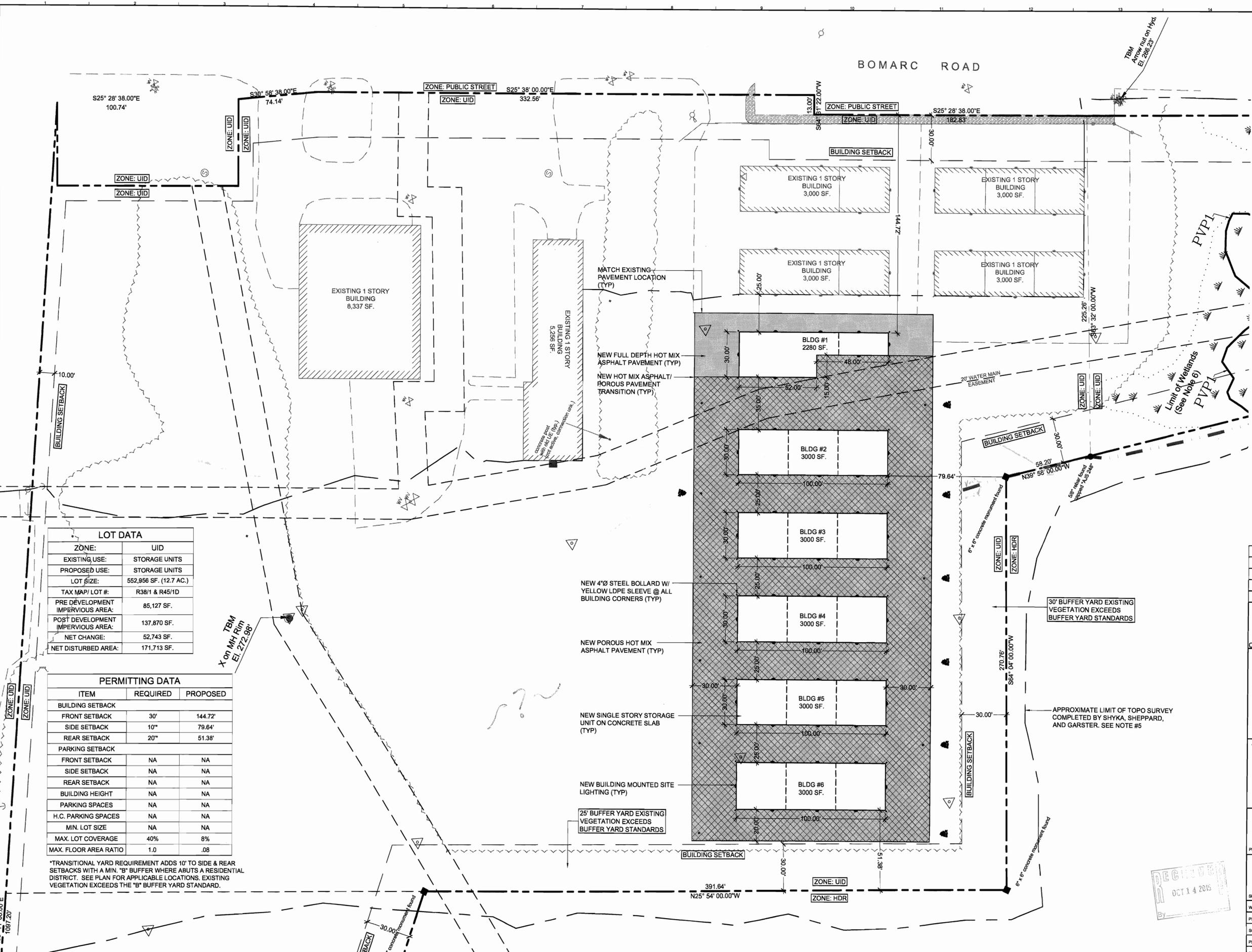
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Oct 08, 2015 - 9:08am
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LOT DATA	
ZONE:	UID
EXISTING USE:	STORAGE UNITS
PROPOSED USE:	STORAGE UNITS
LOT SIZE:	552,956 SF. (12.7 AC.)
TAX MAP/LOT #:	R38/1 & R45/1D
PRE DEVELOPMENT IMPERVIOUS AREA:	85,127 SF.
POST DEVELOPMENT IMPERVIOUS AREA:	137,870 SF.
NET CHANGE:	52,743 SF.
NET DISTURBED AREA:	171,713 SF.

PERMITTING DATA		
ITEM	REQUIRED	PROPOSED
BUILDING SETBACK		
FRONT SETBACK	30'	144.72'
SIDE SETBACK	10"	79.64'
REAR SETBACK	20"	51.38'
PARKING SETBACK		
FRONT SETBACK	NA	NA
SIDE SETBACK	NA	NA
REAR SETBACK	NA	NA
BUILDING HEIGHT	NA	NA
PARKING SPACES	NA	NA
H.C. PARKING SPACES	NA	NA
MIN. LOT SIZE	NA	NA
MAX. LOT COVERAGE	40%	8%
MAX. FLOOR AREA RATIO	1.0	.08

*TRANSITIONAL YARD REQUIREMENT ADDS 10' TO SIDE & REAR SETBACKS WITH A MIN. "B" BUFFER WHERE ABUTS A RESIDENTIAL DISTRICT. SEE PLAN FOR APPLICABLE LOCATIONS. EXISTING VEGETATION EXCEEDS THE "B" BUFFER YARD STANDARD.



- LAYOUT NOTES:**
- SEE NOTES L1 THROUGH L3 ON SHEET C-001 FOR ADDITIONAL LAYOUT INFORMATION.
 - ALL CURB RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
 - COORDINATE ALL PAVEMENT LOCATIONS WITH ARCH. AND STRUCTURAL DRAWINGS TO VERIFY NEW EXTERIOR DOOR LOCATIONS. FIELD ADJUST AS REQUIRED.
 - REFER TO STRUCTURAL SHEETS FOR NEW FOUNDATION LAYOUT. COORDINATE LAYOUT WITH FOUNDATION CONTRACTOR.
 - LIMITS OF SURVEY BY SHYKA, SHEPPARD, & GARSTER LAND SURVEYORS WITHIN THE BOUNDARY SHOWN. ADDITIONAL INFORMATION OUTSIDE OF THE BOUNDARY SHOWN IS BASED ON THE CITY OF BANGOR GIS MAPPING & FIELD OBSERVATIONS BY WBRC.

LEGEND	
EXISTING	PROPOSED
	WETLAND AREA
	UTILITY POLE
	STREET LIGHTING
	BUILDING LIGHTING
	WATER SHUTOFF / GATE VALVE
	SEWER MANHOLE
	FIRE HYDRANT
	FENCING
	STONE WALL
	PAVEMENT
	PERVIOUS PAVEMENT
	PROPERTY SETBACK
	PROPERTY LINE
	ABUTTING PROPERTY LINE
	EASEMENT
	TREE LINE

REV.	DESCRIPTION	DATE
1	APPROVAL DRAWINGS	10/08/15

APPROVAL DRAWINGS
 10/08/15

CURRENT ISSUE STATUS:

WBRC
 ARCHITECTS • ENGINEERS
 WWW.WBRCAS.COM
 BANGOR, MAINE 04401-4511
 PORTLAND, MAINE 207-428-4511
 SARASOTA, FLORIDA 941-773-1200

BOMARC STORAGE
 SITE PERMITTING

PROJECT:	BANGOR, MAINE
SITE LAYOUT & MATERIALS PLAN	
SHEET TITLE:	405900-SP101.DWG
WBRC CAD FILE:	4059.00
PROJECT No.:	4059.00
SCALE:	1"=30'
PM:	PFB
DRAWN BY:	JWB
AE OF RECORD:	PFB
SHEET No.:	CP101

REGISTERED
 OCT 14 2015

Oct 22, 2015 - 1:12pm
 T:\02 Projects - Maine\4001-4100\405900 Bomarc Storage Master Plan\2 Design\Drawings\Site\405900-SP101.dwg josh.burke

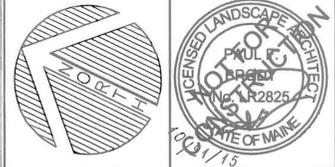


EXISTING	LEGEND	PROPOSED
	WETLAND AREA	
	UTILITY POLE	
	STREET LIGHTING	
	BUILDING LIGHTING	
	WATER SHUTOFF / GATE VALVE	
	SEWER MANHOLE	
	FIRE HYDRANT	
	FENCING	
	STONE WALL	
	PAVEMENT	
	PERVIOUS PAVEMENT	
	PROPERTY SETBACK	
	PROPERTY LINE	
	ABUTTING PROPERTY LINE	
	EASEMENT	
	TREE LINE	

REV.	DESCRIPTION	DATE
2	PER CITY COMMENTS	10/20/15
1	APPROVAL DRAWINGS	10/08/15

APPROVAL DRAWINGS
 10/08/15

CURRENT ISSUE STATUS:



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 BANGOR, MAINE 207-947-4511
 PORTLAND, MAINE 207-628-4511
 SARASOTA, FLORIDA 941-373-1933

BOMARC STORAGE
 SITE PERMITTING

PROJECT: BANGOR, MAINE
SITE OVERVIEW
PLAN

SHEET TITLE:	405900-SP101.DWG
WBRC CAD FILE:	405900-SP101.DWG
PROJECT No.:	4059.00
SCALE:	1"=60'
DATE:	OCT 23 2015
DATE OF RECORD:	
DESIGNED BY:	PFB
DRAWN BY:	JWB
CHECKED BY:	PFB
DATE OF RECORD:	
SHEET No.:	CS101